

# Planning Committee



**GREATER CAMBRIDGE**  
SHARED PLANNING

# MAJOR APPLICATIONS

Barnwell Local Centre redevelopment  
and the proposed relocation of the  
bowls club and tennis court to Abbey  
Leisure

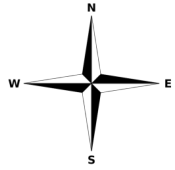
Page 3

*Application references:*

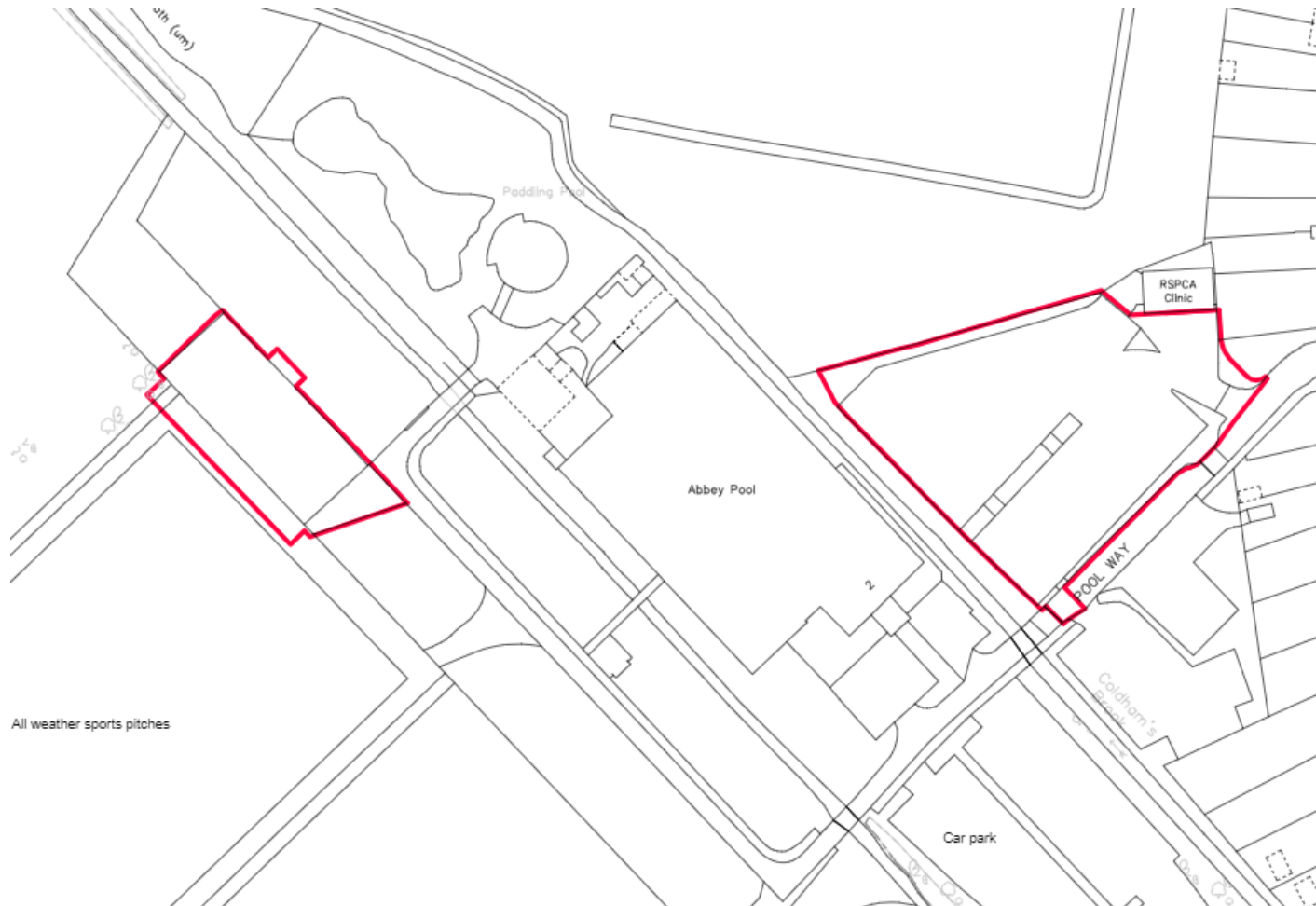
23/04849/FUL

23/04687/FUL

# 23/04849/FUL- Abbey Leisure Site Location Plan



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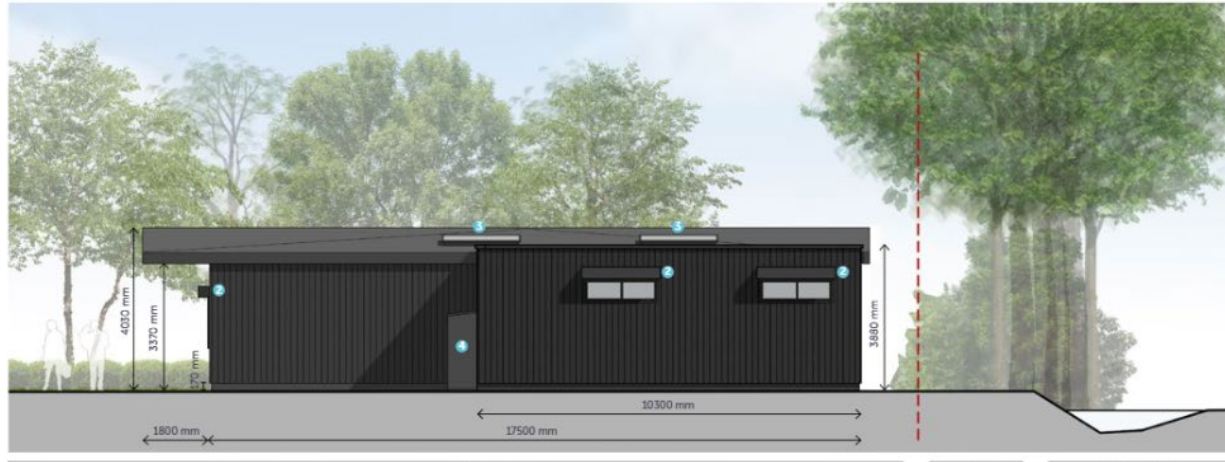


# Proposed Bowls Club Pavilion Elevations

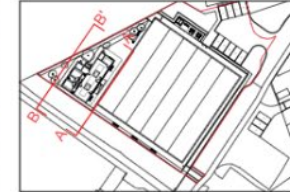
Page 5



Proposed Front Elevation AA'



Proposed Rear Elevation BB'



Key Site Plan Scale 1:1250m

- 1 Power Assisted Disabled Access Door
- 2 Roller Shutters
- 3 Skylights
- 4 External Security Rated Storage Shed

**Notes:**  
 Do not scale. All dimensions are in millimeters unless otherwise stated. This drawing should be read in conjunction with all relevant project information and contract documentation. All dimensions to be checked prior to fabrication and/or commencement of works. All works to comply with all relevant legal standards, building regulations and warranty for all materials, fixtures and accessories. If in doubt ask.

Rev	Status	Date	Description	By	Chk
001	AS	08.11.23	Planning Issue	PR	PR
002	AS	08.11.23	Final Amendments	PR	PR
003	AS	14.11.23	Final Planning Issue	PR	PR

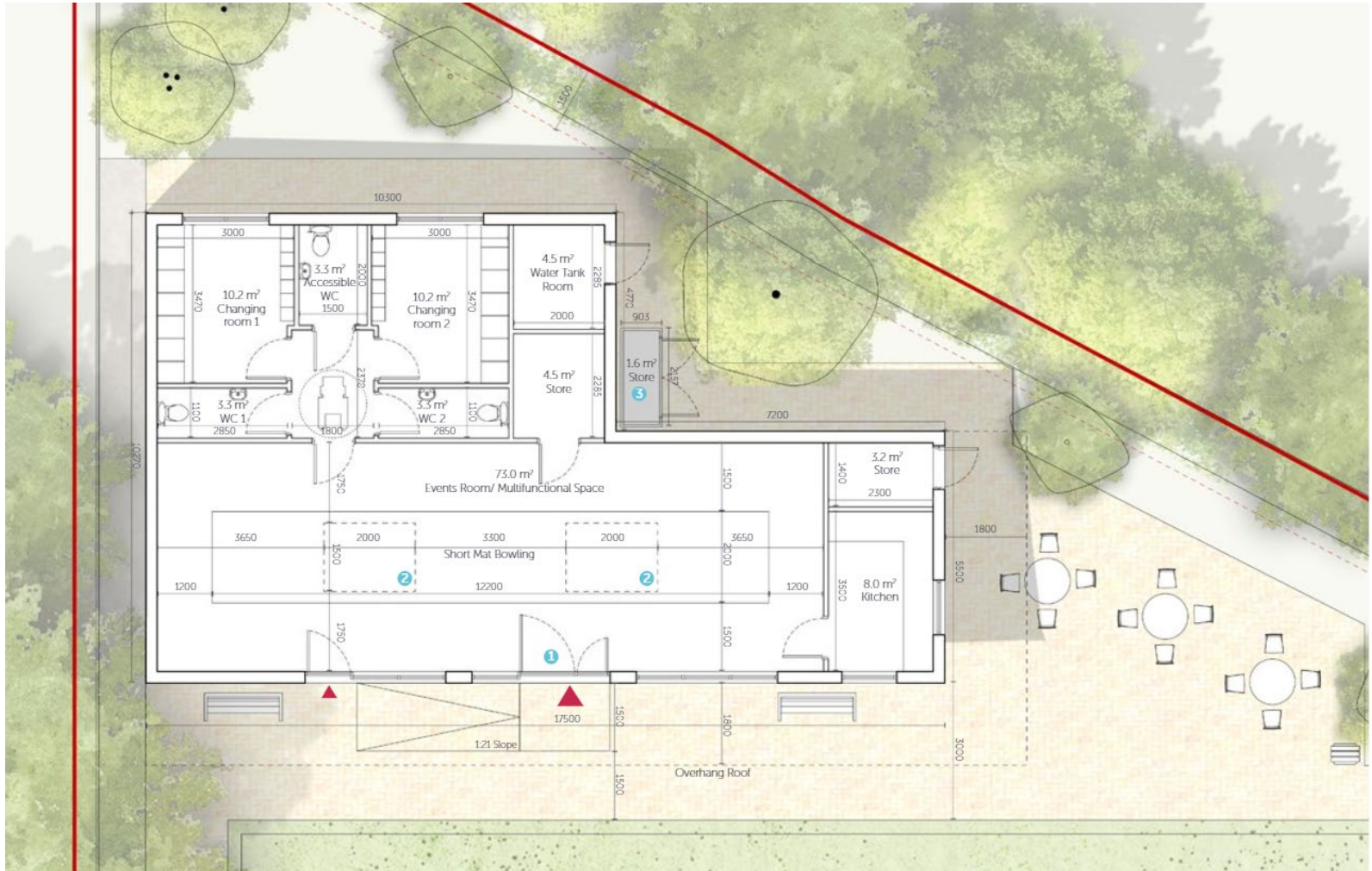
Client Name: Cambridge Investment Partnership	
Project Name: Abbey Leisure Complex (ALC)	
Drawing Name: Proposed Pavilion Front and Rear Elevations	
Drawing Number: ALC-BPTV100-00-DR-A-2001	Rev: 003 Status: AS
Project No: 28-074	Project Stage: 3
Drawn By: PR	Scale: 1:100 @ A3

**PLANNING ISSUE**

40 Norman Road,  
 Greenwich, London  
 SE10 9QX  
 T 020 8293 5175

# Proposed Bowls Club Pavilion Floor Plan

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# Landscape Plan

**KEY**

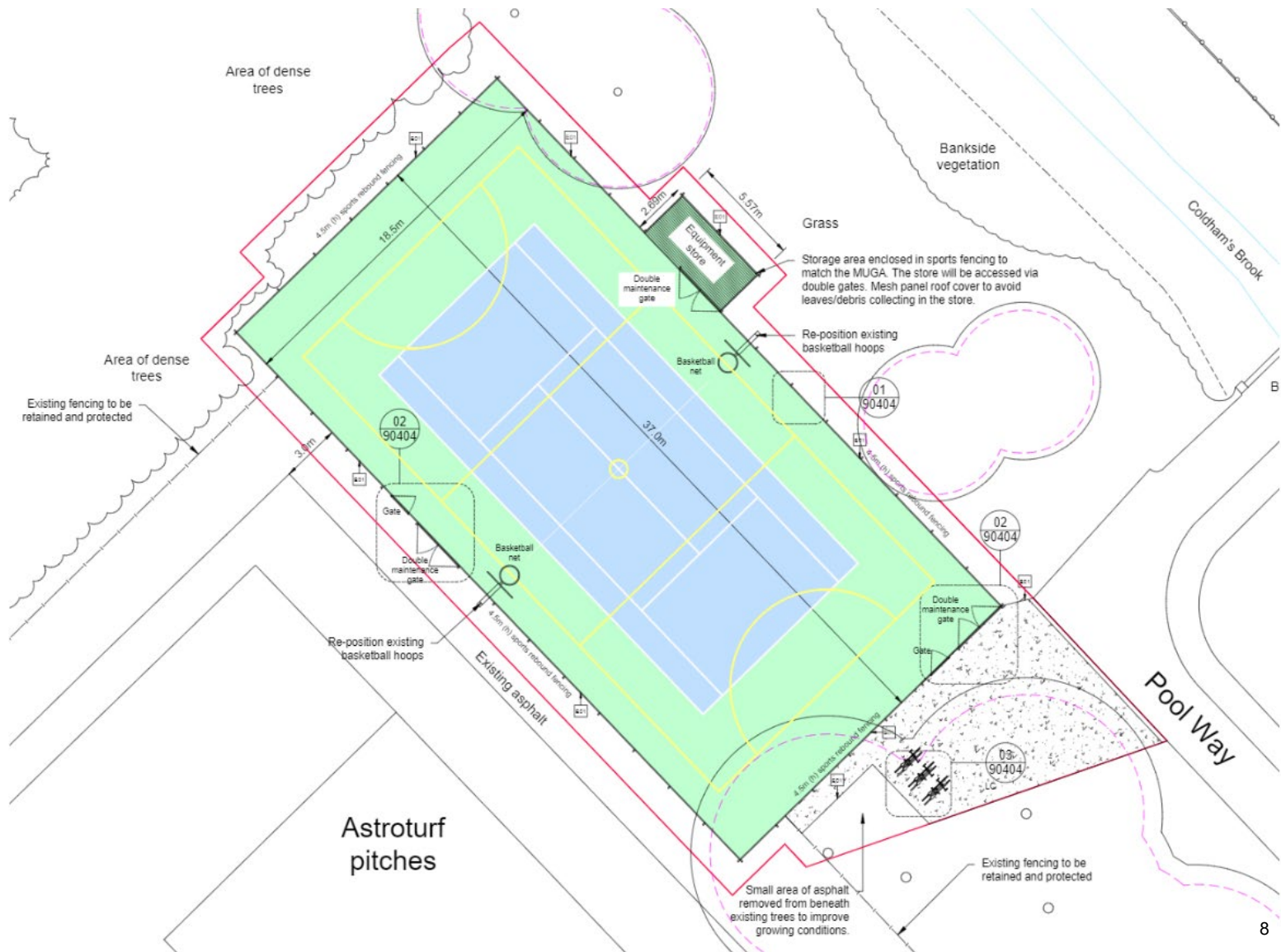
- Site boundary
- 1** 35 x 35m natural bowling green with ditch
- 2** Min. 1.2m wide perimeter path
- 3** New pavilion
- 4** Seating terrace
- 5** Perimeter seating
- 6** Covered seating
- 7** Covered cycle storage
- 8** External storage
- 9** New parking bays (bowling club & RSPCA use)
- 10** Re-surfaced parking bays (RSPCA use)
- 11** Re-aligned and resurfaced access
- 12** New boundary vertical steel bar railings & gates
- 13** New boundary hedge to Pool Way



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# Proposed enhanced MUGA plan

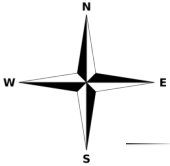
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# 23/04687/FUL- Barnwell Local Centre, Barnwell Road.

## Site Location Plan



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# Existing Aerial View



# Aerial View of the Proposed Development



# Proposed Block Plan/ Ground Floor Plan



# Site layout typical floor plan

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# Illustrative Landscape Plan

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# Elevations- Blocks A and B

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North Elevation (fronting Newmarket Road)



South Elevation

# Elevations- Blocks A, B and C



East Elevation (fronting Barnwell Road)

Page 16



West Elevation



# Elevations- Block D

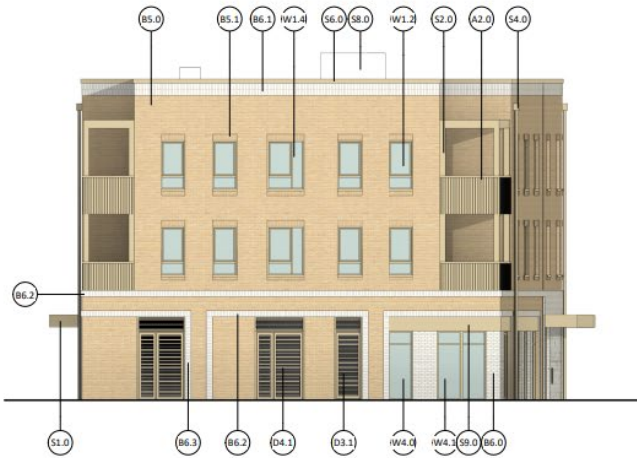


North Elevation

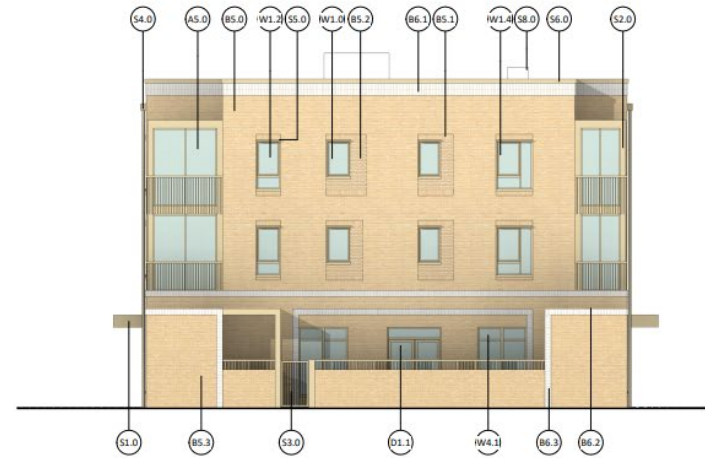


South Elevation

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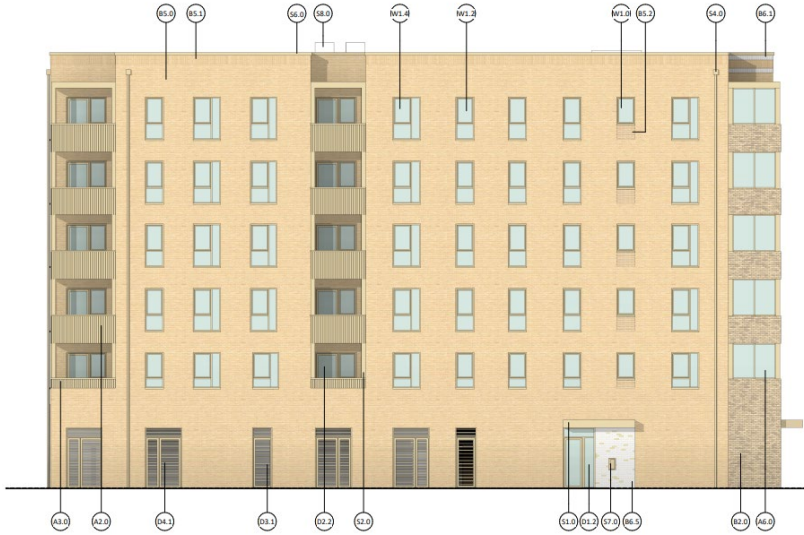
East Elevation



West Elevation

# Elevations- Block E

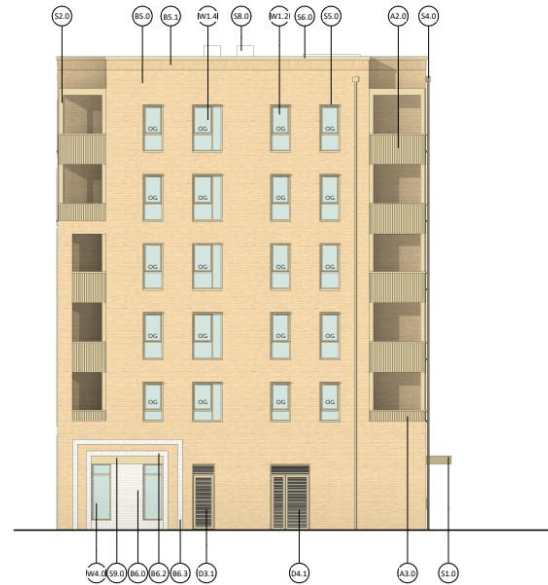
Page 18



West Elevation



North Elevation



South Elevation

# Elevations- Block F

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# Elevations- Block G



Page 20  
North Elevation

B6.3 B6.4 B6.5 S7.0 S1.0 D1.3 D1.2

A3.0

D4.0



South Elevation

D3.0

D2.3

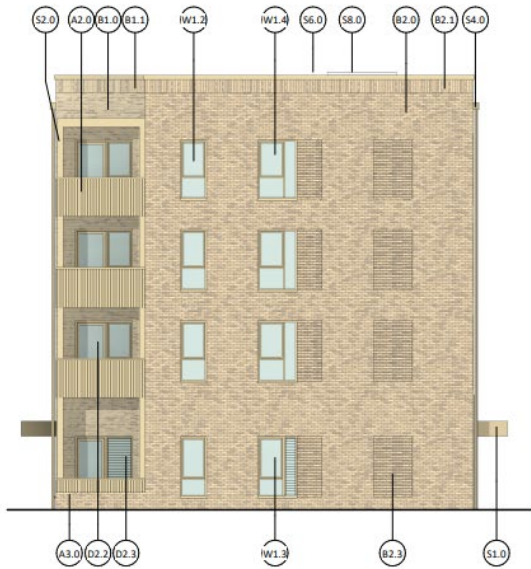
W1.3

B6.5

S1.0

D1.3

A3.0



East Elevation

S2.0

A2.0

B1.0

B1.1

W1.2

W1.4

S6.0

S8.0

B2.0

B2.1

S4.0

A3.0

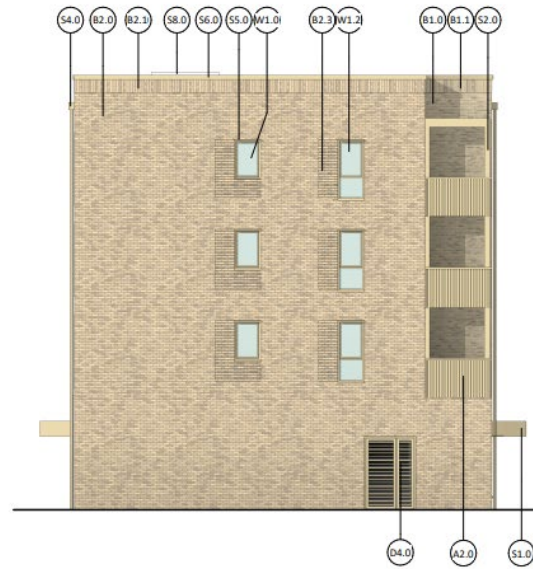
D2.3

D2.3

W1.3

B2.3

S1.0



West Elevation

S4.0

B2.0

B2.1

S8.0

S6.0

S5.0

W1.0

B2.3

W1.2

B1.0

B1.1

S2.0

D4.0

A2.0

S1.0

# Accommodation Schedule

- Exceeds the policy requirement for affordable homes (policy 45) by delivering 100% of the development as affordable. A total of 120 affordable homes are proposed.
- The application is considered to introduce an acceptable mix of dwelling sizes which responds to the local need for affordable homes.

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Site 1 Homes					
Block	1bed flat	2bed flat	3bed flat	3bed mais.	Total
A/B	8	20	4		32
C	6	6			12
D	2	6	2		10
	16	32	6		54

Site 2 Homes					
Block	1bed flat	2bed flat	3bed flat	3bed mais.	Total
E	15	15			30
F	11	3	3	4	21
G	1	11	3		15
	27	29	6	4	66

# Materials- Apartments



## 12.4 Material Palette

### Overview

Each individual building and the surrounding spaces have a varied role to play in its relationship to context and the spaces and moments they create. Therefore, there should be sufficient difference between the elements to generate interest but also a commonality to retain a shared identity of place.

Brick is proposed to be the predominant material across the site due its context, and durable, robust and long lasting properties. The material palette across the development have been chosen to reflect the existing material palette of the surrounding area and carefully applied to create a harmonious variation.

The predominant brick colours for the development will be buff/yellow bricks with 'transition' buildings in a light variegated red brick to add depth and warmth to the development and ensure it is not too monotonous. Block F, for example, would ensure a colour transition between the Buff/Brown bricks of Block E and the dark red brick of the adjacent Barnwell Road flat block.

#### Buff / Brown Bricks

Proposed for buildings facing Newmarket Road; Blocks A, B and G



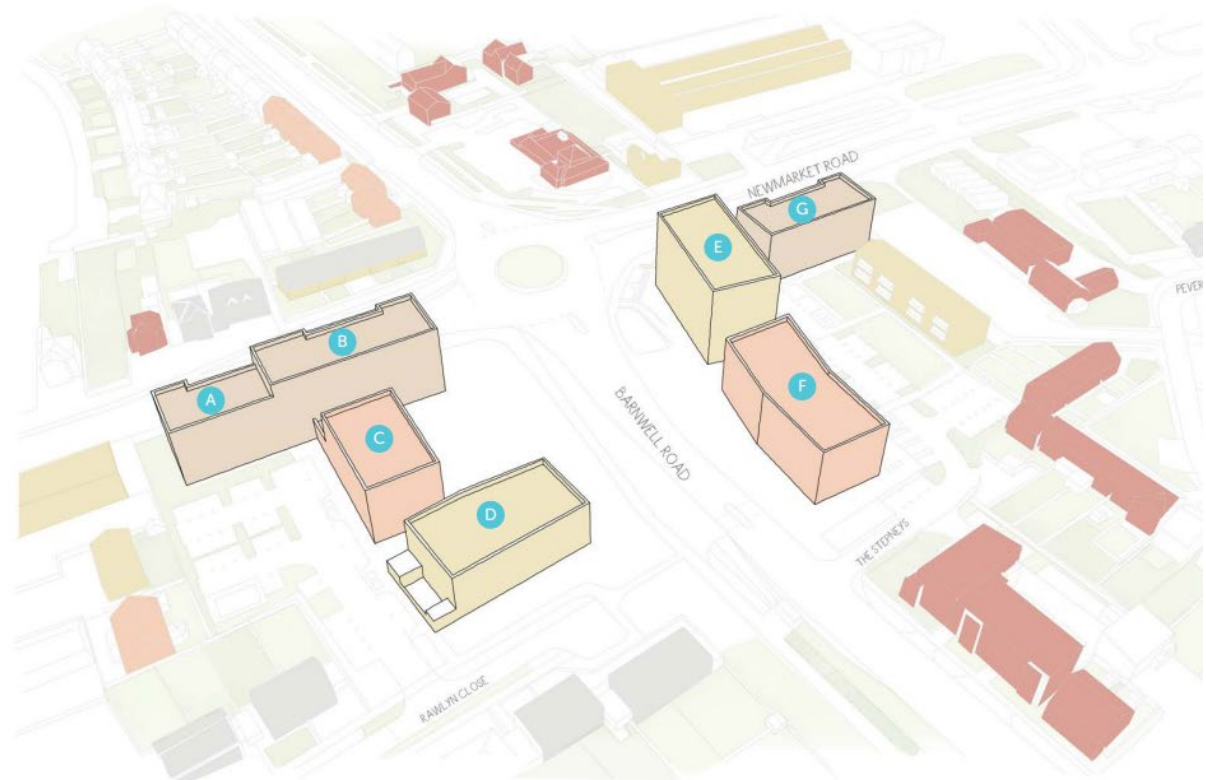
#### Yellow Bricks

Lighter bricks proposed for Block D facing Rawlyn Close which are predominantly rendered buildings and for Block E which is the tallest building in the development.



#### Light Red Variegated Bricks

Proposed for "transition" buildings; Blocks C and F



# Materials- Apartments and Community facility

## Deck Access Buildings

The adjacent Bay Study is of the deck access facing elevation of Blocks A-B showing proposed details. A similar approach is also proposed for Block G.

The building mass is broken up by introducing a lighter construction for the deck access which will be predominantly metal (including metal piers, metal balustrading and deck access, etc) and is set back from key sections and facades of the building which is in brickwork.

The west of the building is a key wayfinding facade, as it faces the eastern Newmarket Road and Barnwell Road roundabout junction as well as accommodating the Community Centre and Library on the ground floor.

Page 23



Sketch of building proportion study



Full Elevation showing Bay Study Section

DOUBLE STACKED SOLDIER COURSE BRICK DETAILING TO PARAPET



WHITE BRICK DETAILING TO WINDOWS TURNING THE CORNER TO FACADE FRONTING BARNWELL ROAD



WHITE BRICK SURROUND TO WINDOWS TURNING THE CORNER TO FACADE FRONTING BARNWELL ROAD



BUFF/BROWN BRICKS WITH DARK COLOUR MORTAR



WHITE BRICK BANDING AND PORTALS TO HIGHLIGHT GROUND FLOOR USAGE



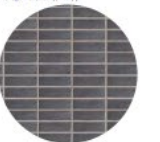
BUFF/BROWN BRICKS WITH LIGHT COLOUR MORTAR



METAL DECK WITH SOLID METAL UPSTAND FOR FIRE PROTECTION



BLUE BRICK DENOTING COMMUNITY CENTRE AND LIBRARY



Block B north facing elevation

Looking South towards Site 2 (Newmarket Road)



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Looking South towards Site 1 and Site 2 (Newmarket Road)



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Looking East along Newmarket Road



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# Planning Balance

## Positives

### Key material considerations

- The proposal would provide a high quality development on a brownfield site which is located in a sustainable location.
- Provision of 120 affordable Council homes. (100% - which exceeds policy requirements).
- All affordable homes designed to Passivhaus principles standard.
- Delivery of enhanced community facilities (community centre, library and pre school).
- New commercial units to replace the existing.
- Enhanced open space.
- Replacement tree planting and retention of all category A trees.



## Negatives

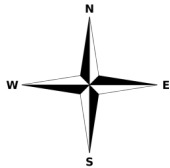
### Key material considerations

- Impact on protected open space.
- Single aspect homes.
- Loss of existing trees.

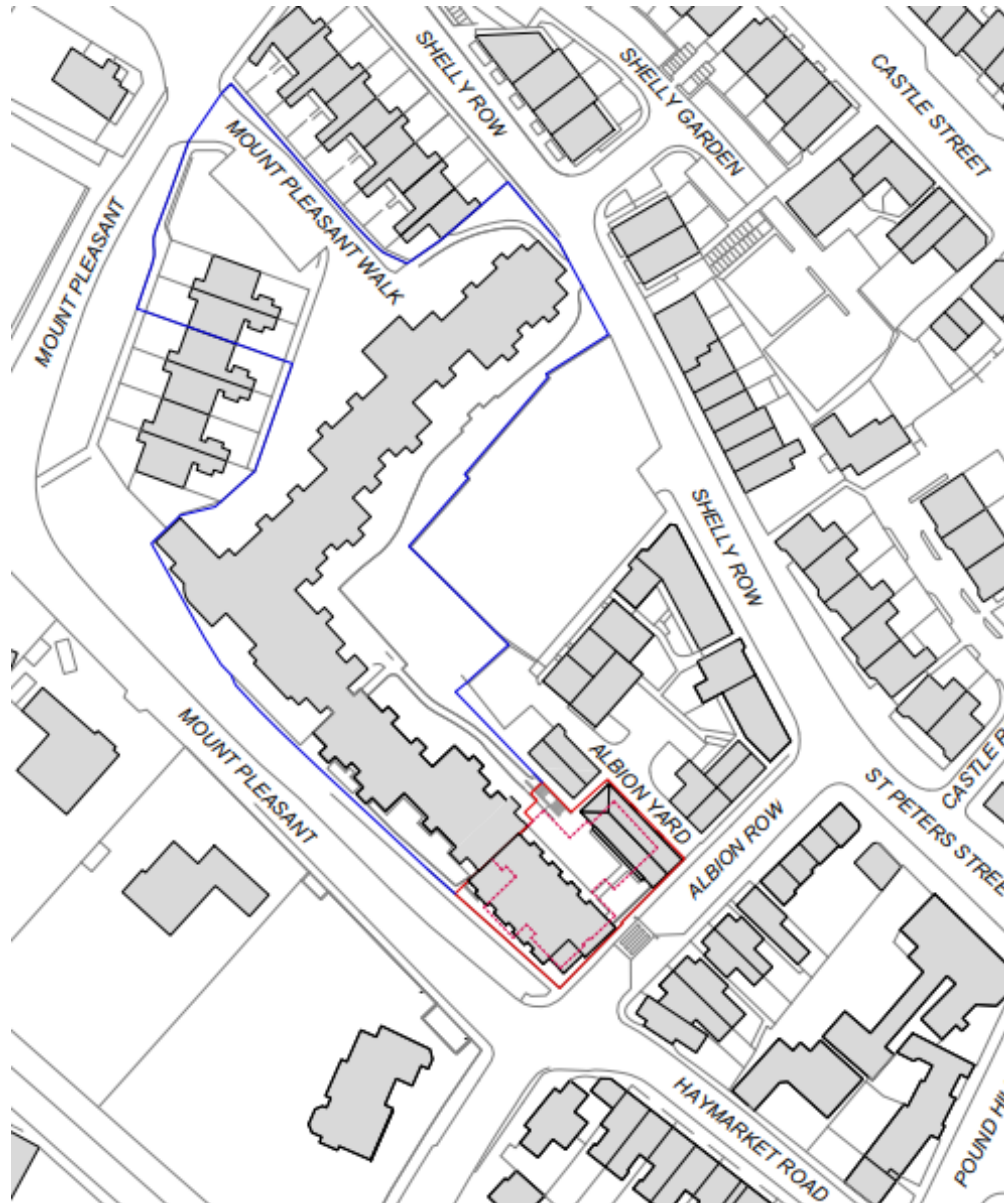
Officer Recommendation: Approve subject to conditions and S106

# 23/02294/FUL / Edward House, 8 Albion Row, Cambridge Site Location Plan

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# Proposed Block Plan

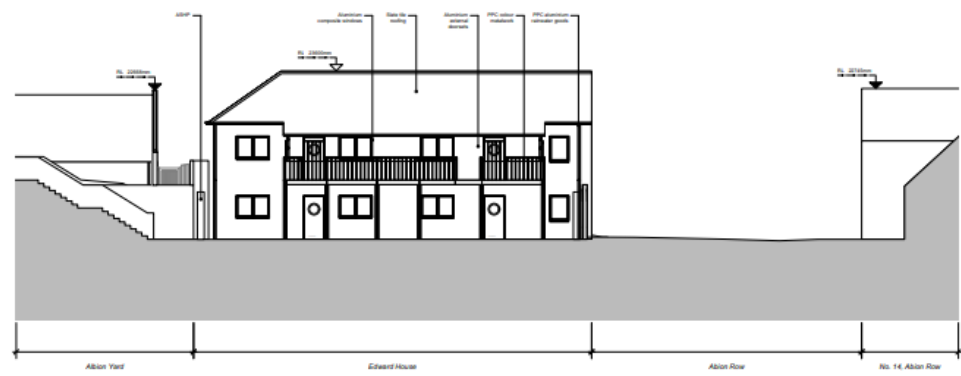


# Proposed East and West Courtyard Elevations

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East courtyard elevation



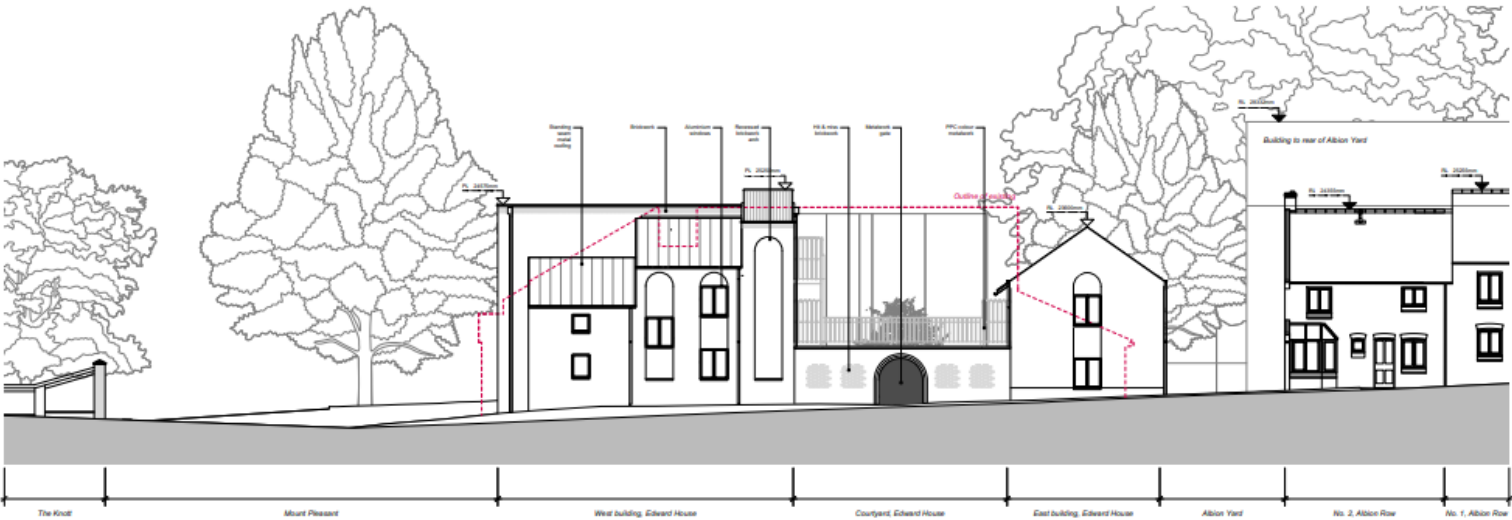
West courtyard elevation

# Proposed Mount Pleasant and Albion Row Elevations

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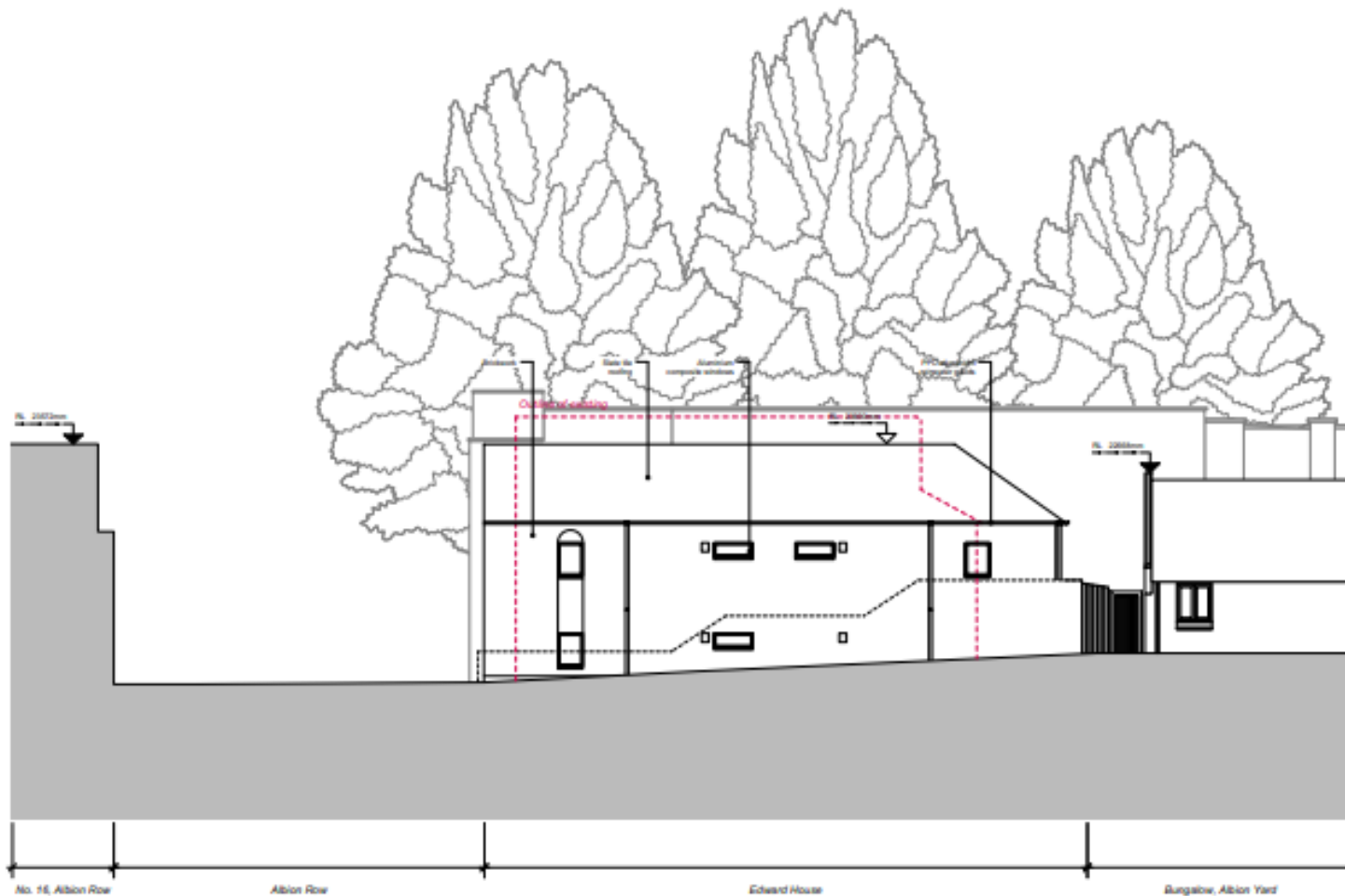
Mount Pleasant elevation



Albion Row elevation

# Proposed Albion Yard Elevation

Page 32



*Albion Yard elevation*

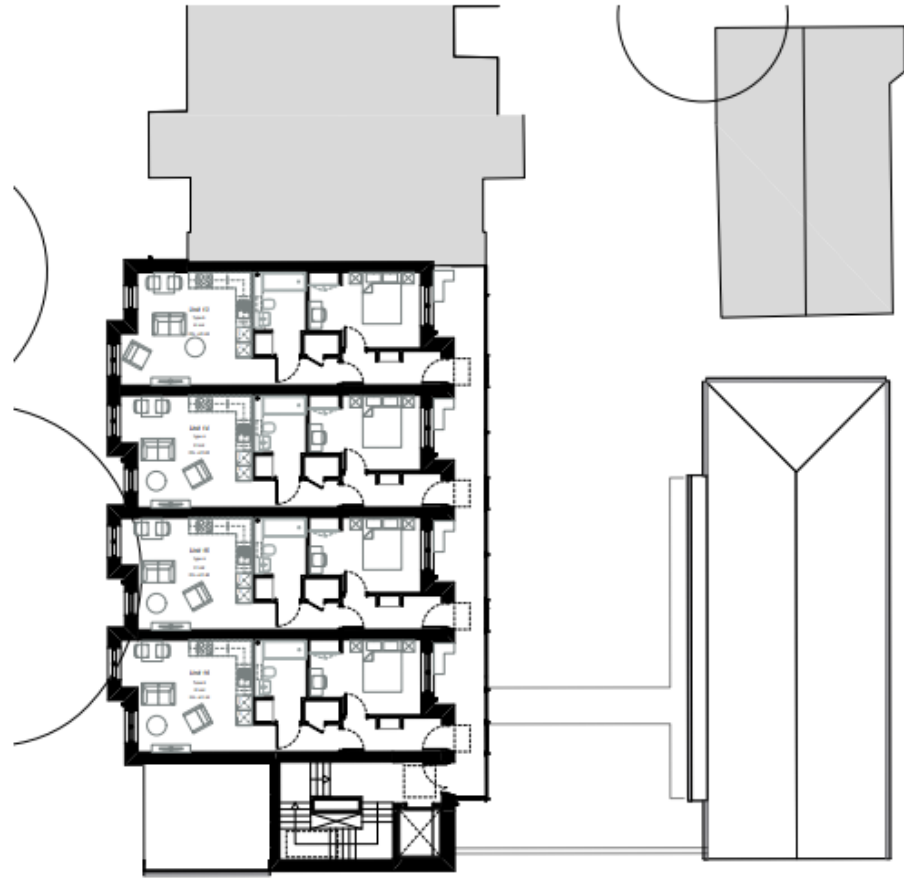


# Proposed Ground Floor Plan

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# Proposed First and Second Floor Plan

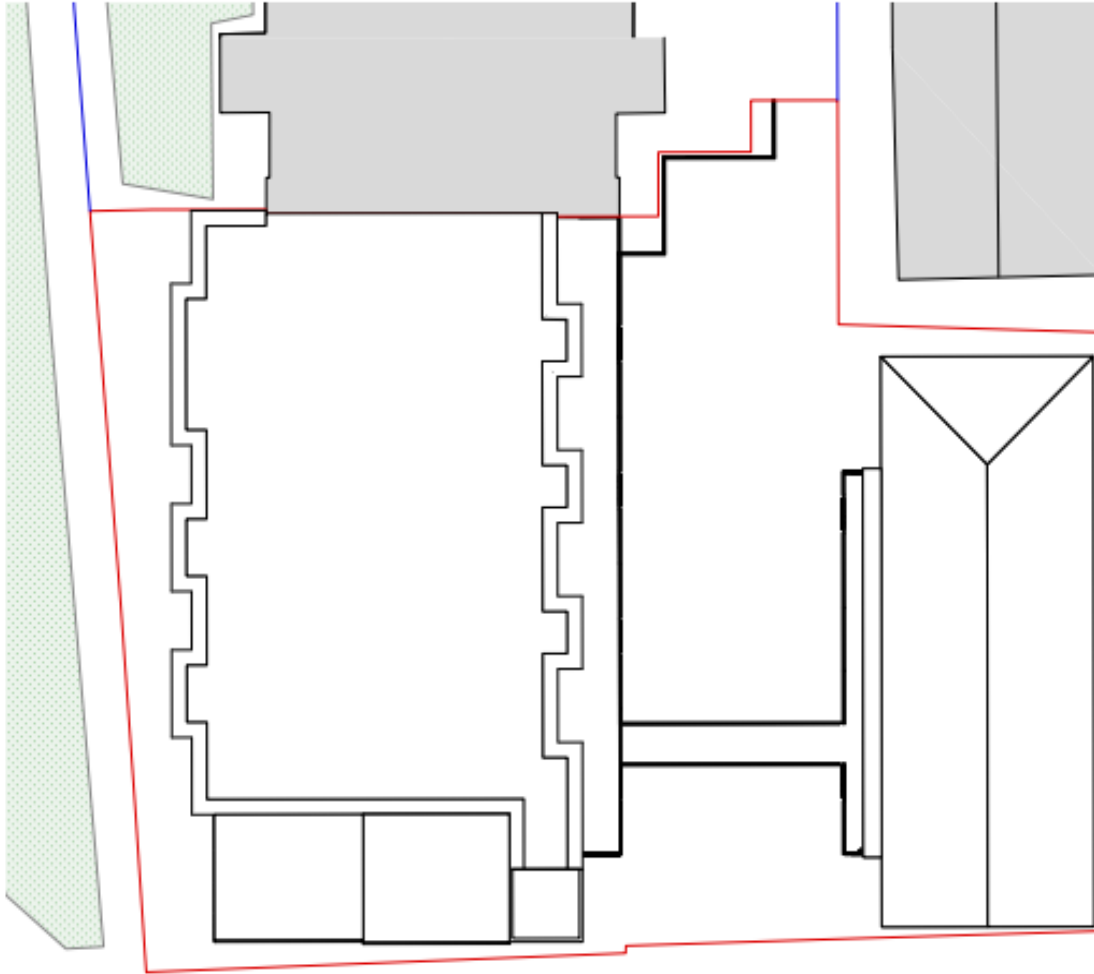


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First Floor plan

Second Floor plan

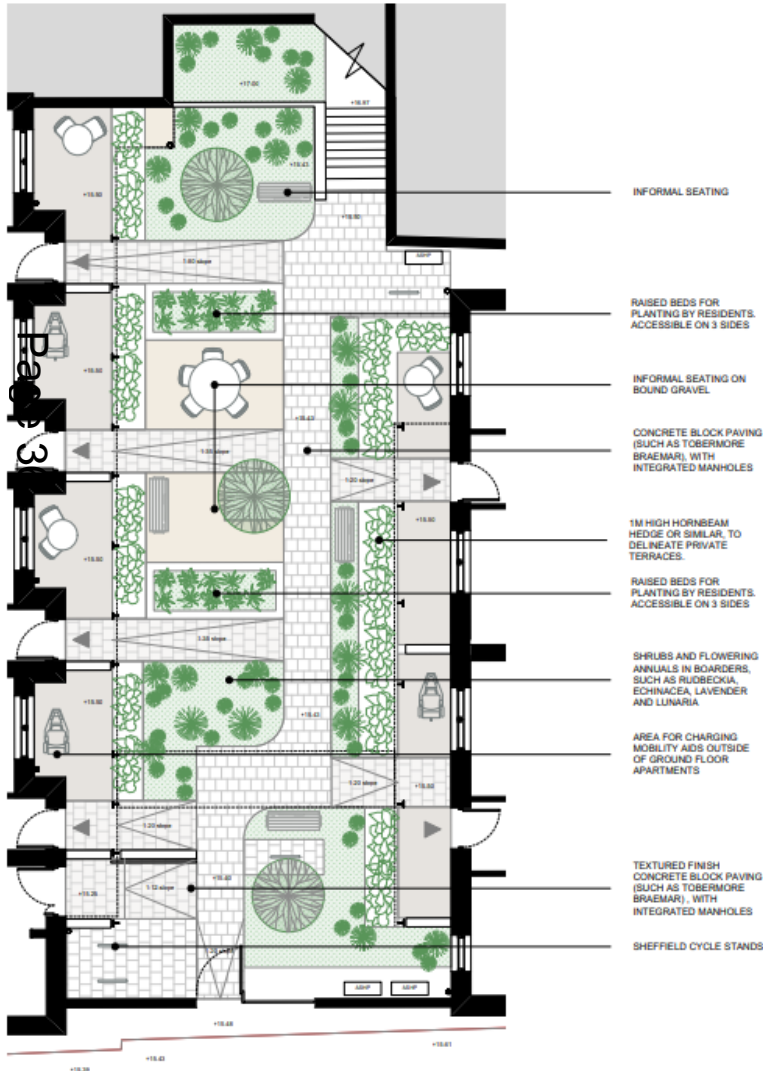
# Proposed Roof Plan



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*Roof plan*

# Courtyard Landscape Plan



Three trees have been proposed for their year round colour, support for bio diversity, their shade tolerant, and suitability for restricted spaces.

In autumn the leaves will display red and orange giving colour and vibrancy to the space. The trees will provide some screening between the buildings across the courtyard. The Amelanchia will bear blossom and fruit, loved by birds, giving activity to the restricted space.

Each will be planted between 3 - 5m, and maintained to a shape which is appropriate for the courtyard.



### MULTI-STEM AMELANCHIER LAMARCK

A large erect deciduous shrub or small tree of open habit, with bronze-tinged young leaves turning orange and red in autumn. While flowers appear in short, lax racemes as the leaves unfold. Fruits are red to dark purple-black berries, eaten by birds as a multi-stem can be kept at the desired height required with pruning.

Spread: Can ultimately grow to 8 metres wide, but as a multi-stem can be kept at the desired height required with pruning, are superb small garden trees, with white spring blossom and vibrant autumn colour.



### ACER LOUISA REDSHINE

It makes a smaller tree, with tighter and more compact growth, reaching 5m in ten years, and so is especially good for hedging and for small spaces.

The emerging spring foliage features bronze tints as it unfolds, creating a slightly smoky look. It then matures to lime green with a neat double-toothed edge to each leaf.

In autumn, however, things change dramatically as the foliage turns into a dramatic vivid flame orange.

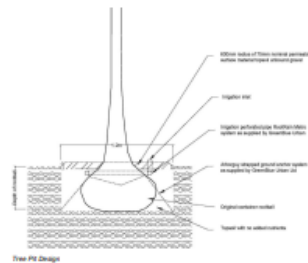


### CARPINUS BETULUS ORANGE RETZ





This cultivar has the significant benefit of producing new growth which is bright crimson, before turning to a deep green as the growing season progresses.

That said there are few times a year when this tree is in leaf that it is not giving a fantastic display of contrasting foliage.

It is an excellent tree for bees and urban sites.



An example of tree planting within a courtyard at Stoney's Field Community Centre.

-  GRASS/VEGETATION
-  BOUND GRAVEL
-  CONCRETE BLOCK PAVING
-  TEXTURED CONCRETE BLOCK PAVING

# Proposed CGI- From Haymarket Road



# Proposed CGI-From Lady Margaret Road



# Planning Balance

## Approval

Key material considerations

- Reuse of a vacant site.
- Provision of 16 No. 1 bedroom Almhouses apartments.
- High quality design and landscape.
- Appropriate to the character and appearance of the Conservation Area.
- No impact on neighbour amenity.



## Refusal

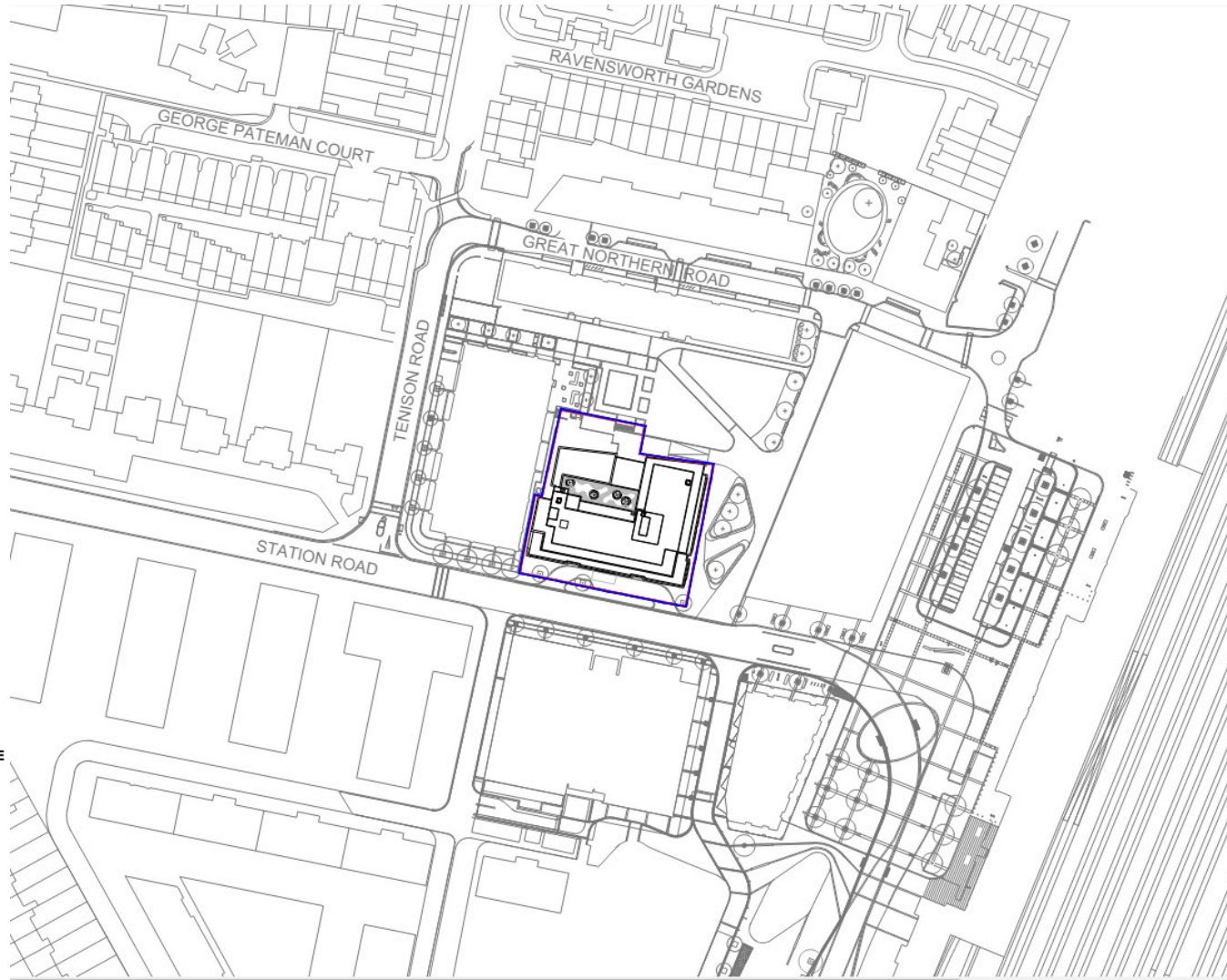
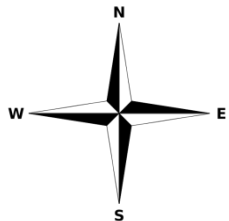
Key material considerations

- None

Officer Recommendation: Approve subject to conditions and S106

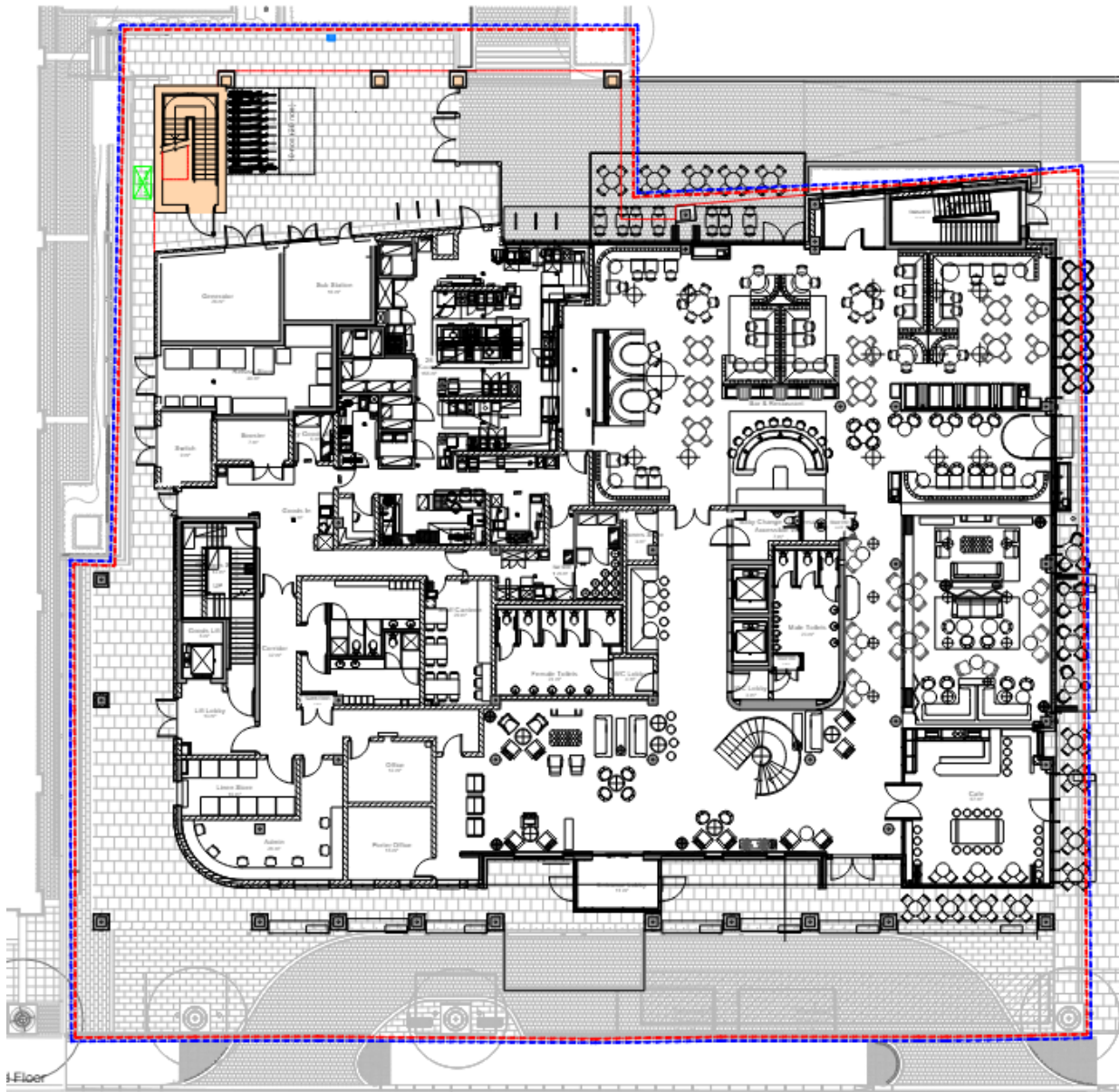
# 24/00943/FUL 27-29 Clayton Hotel Station Road Site Location Plan

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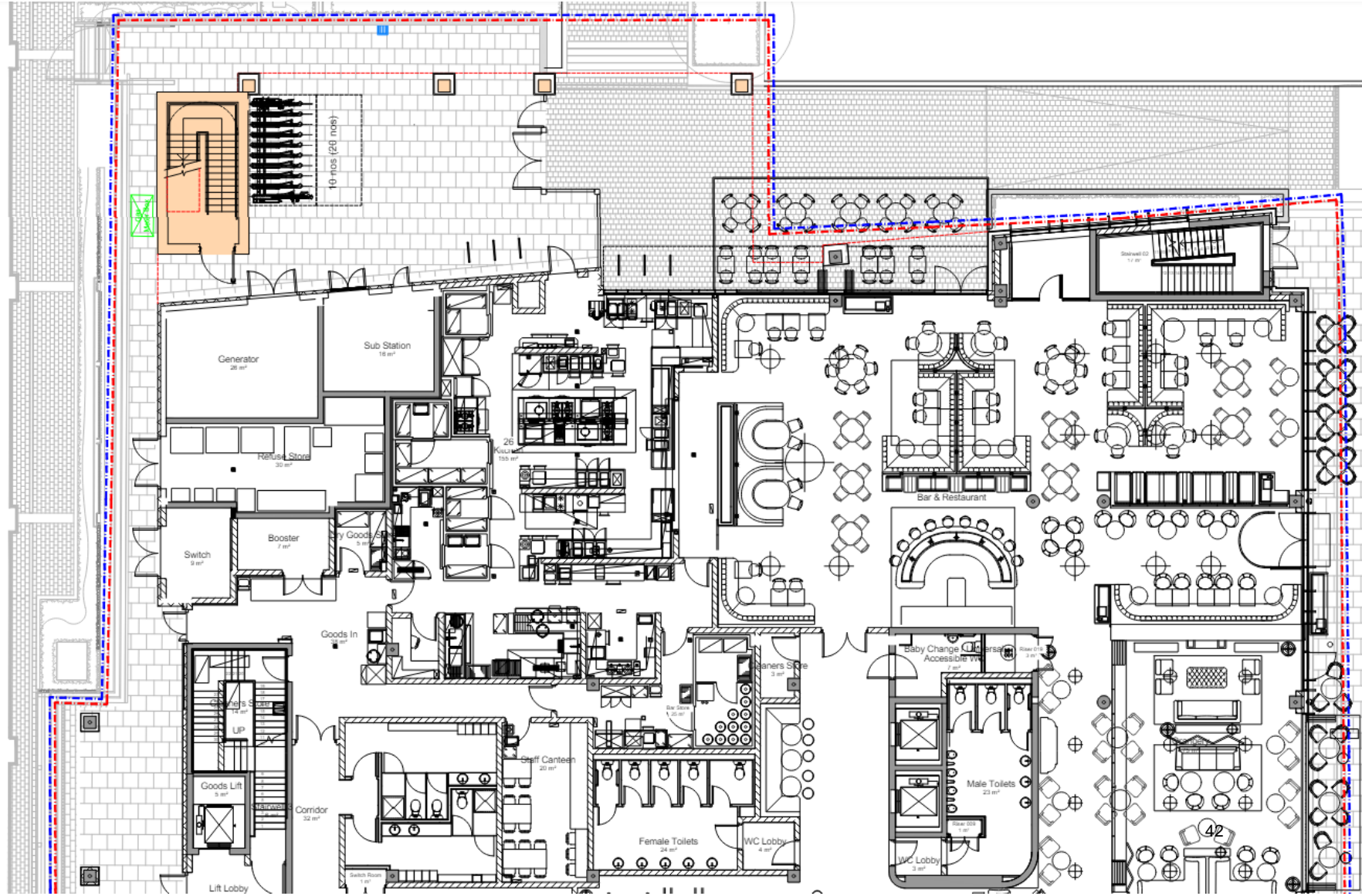
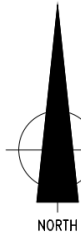




# Proposed site plan

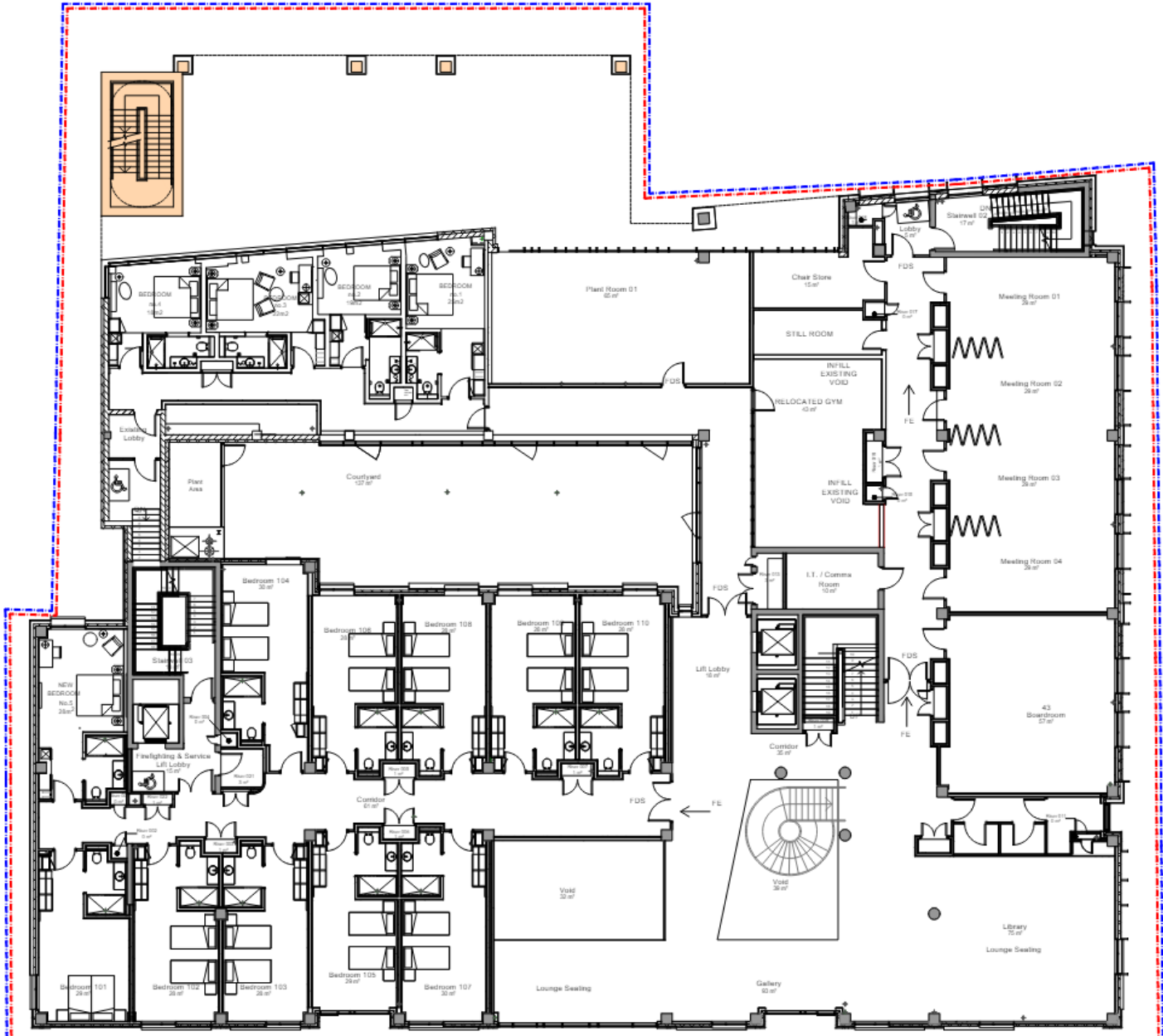


# Site Plan



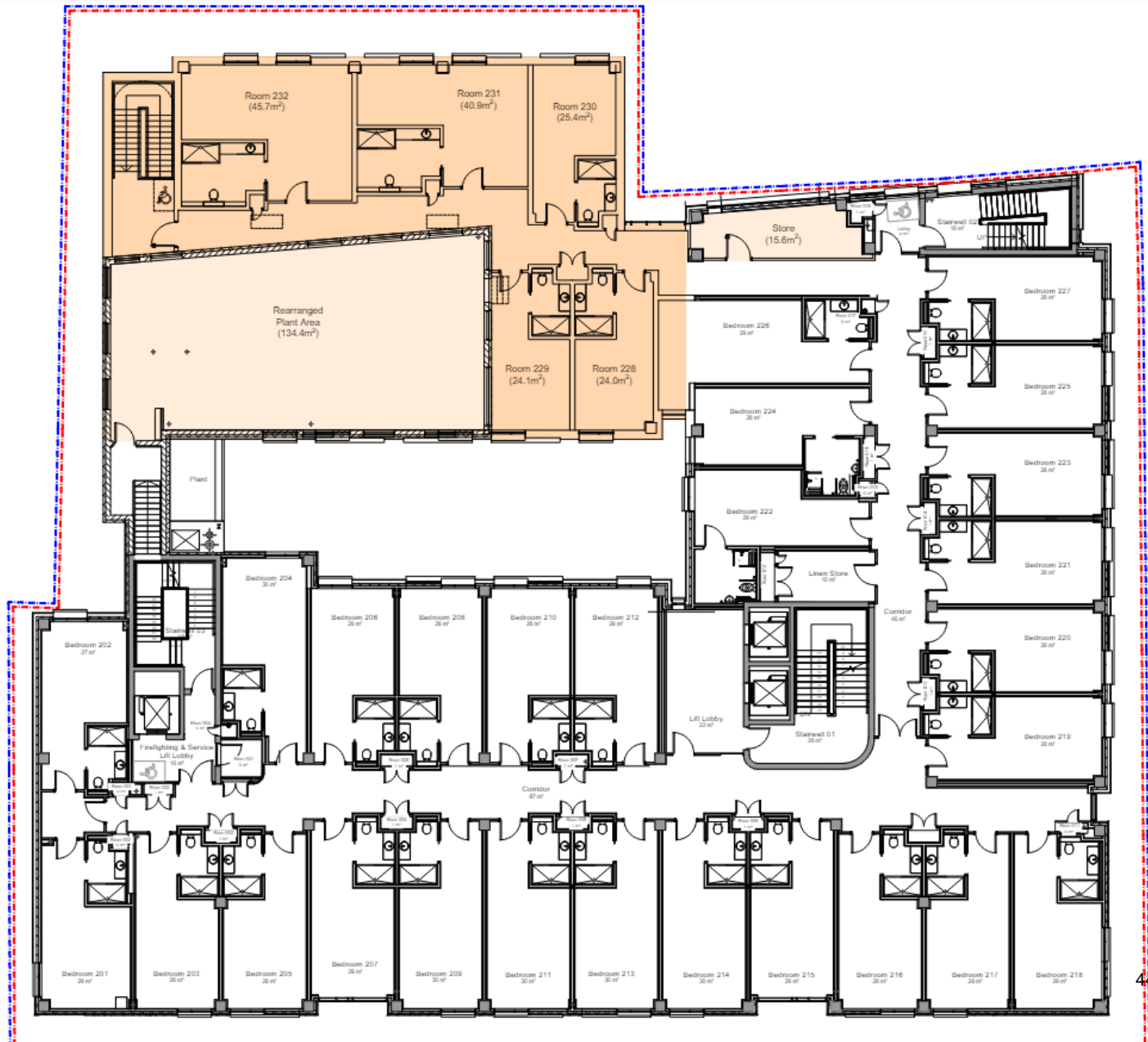
# Proposed level 1

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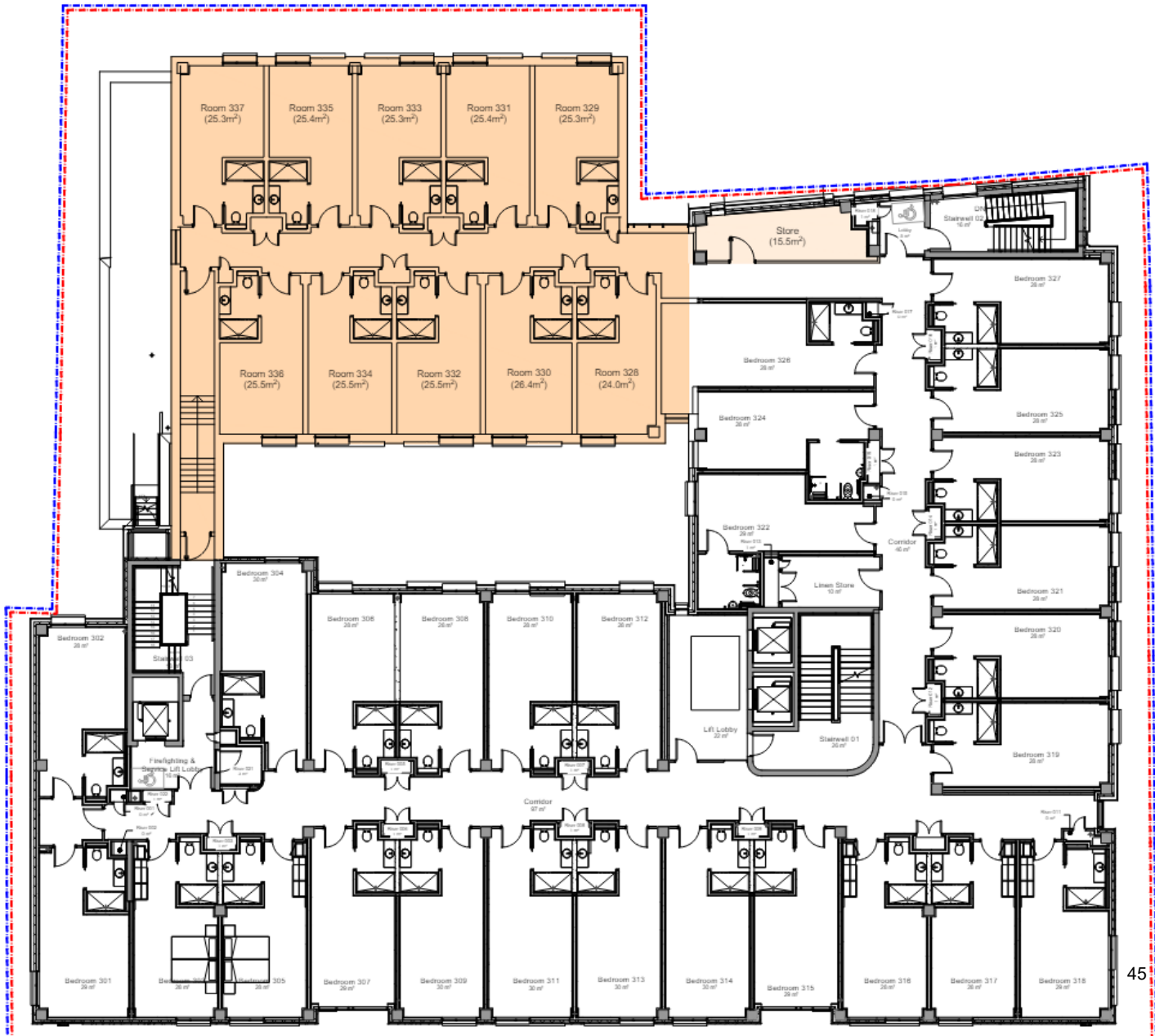
# Proposed level 2

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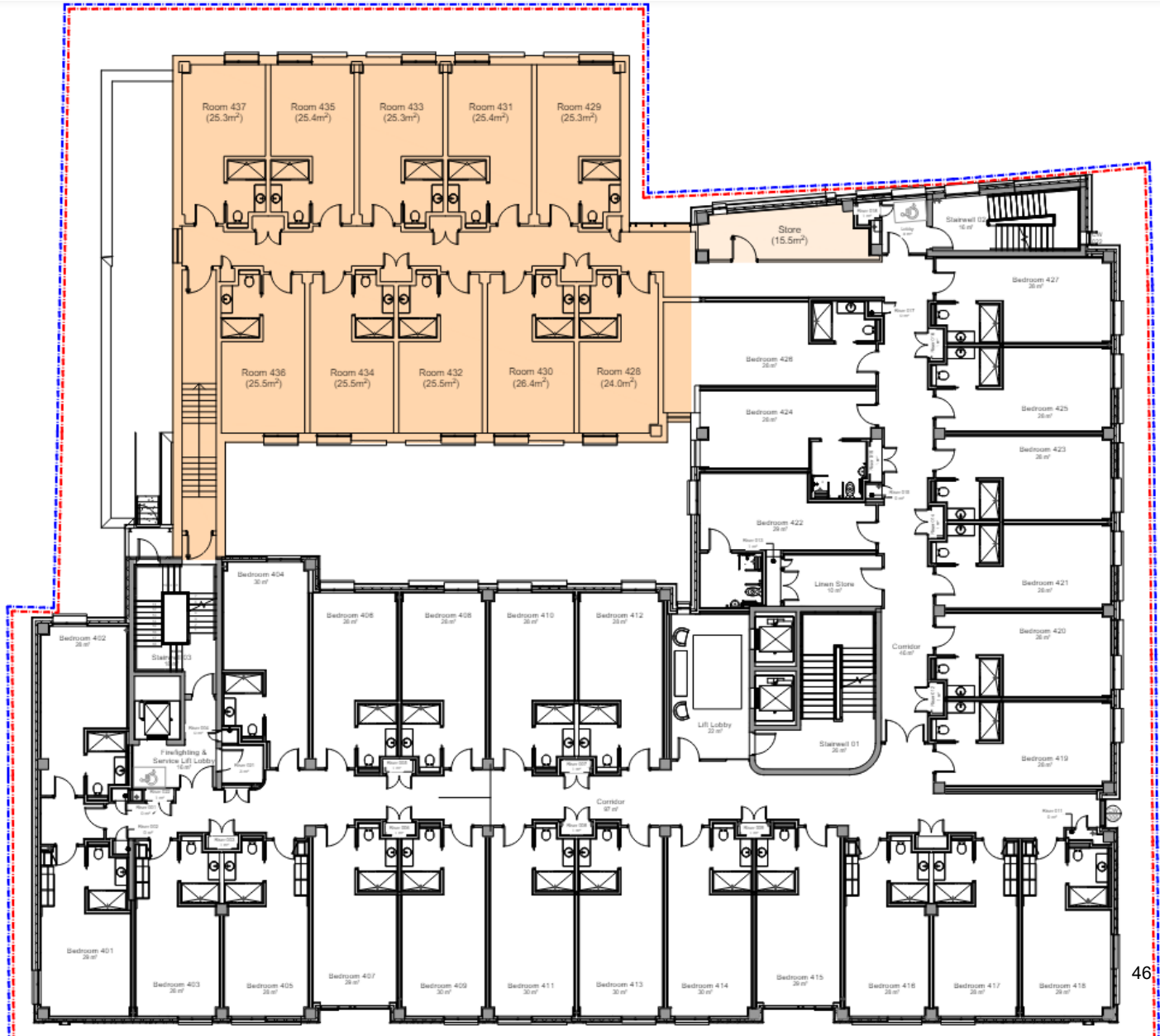
# Proposed level 3

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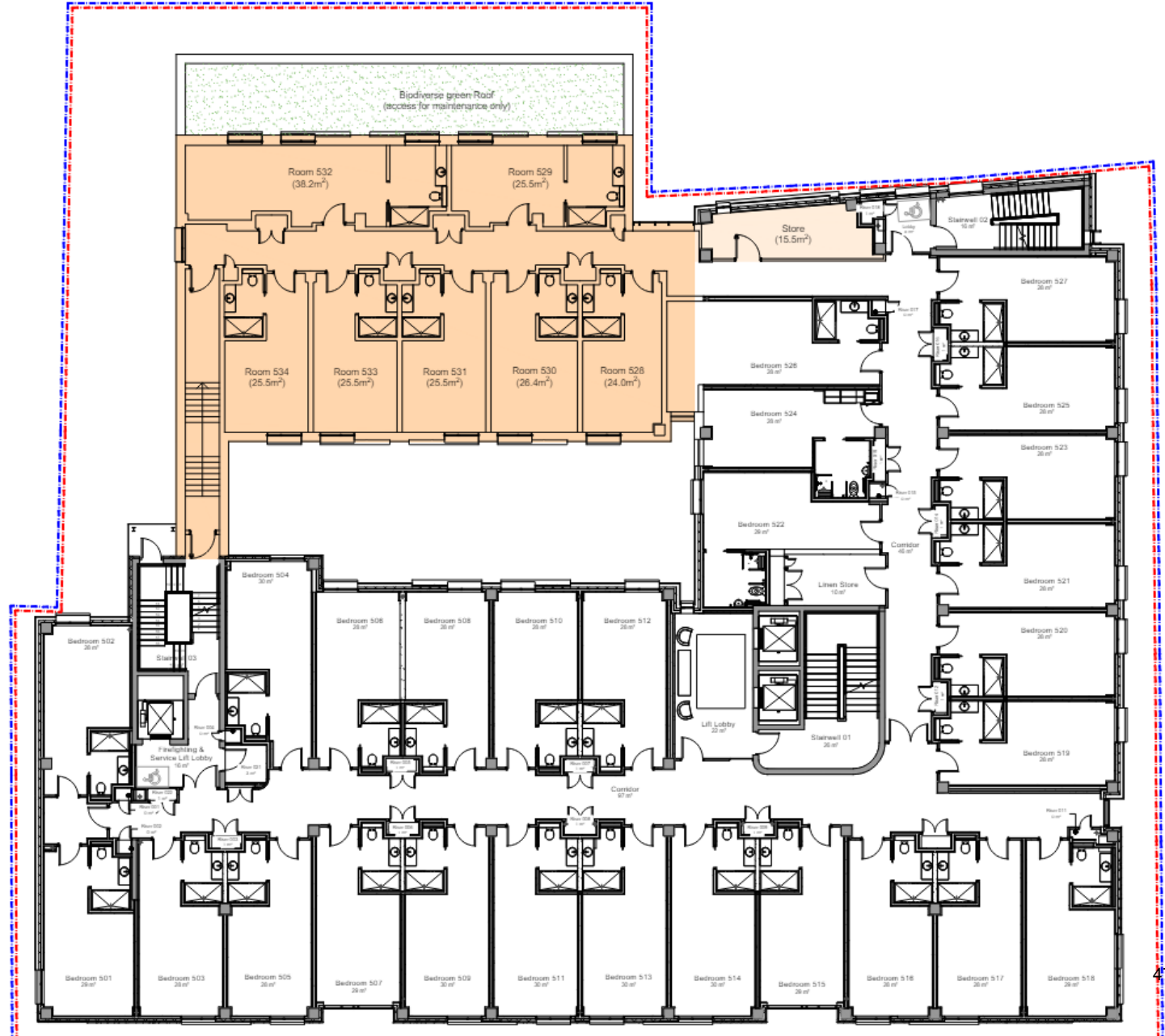
# Proposed level 4

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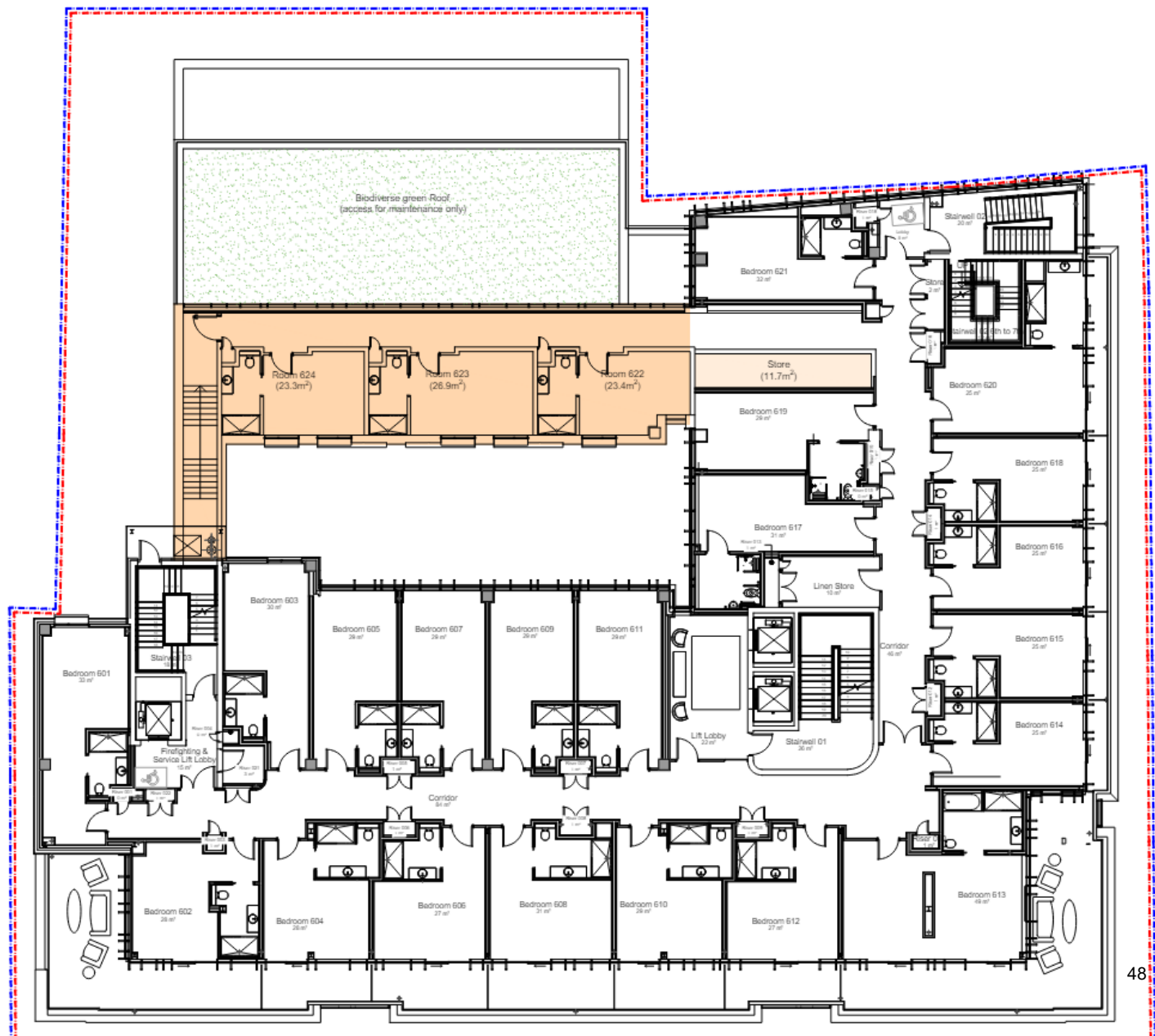
# Proposed level 5

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# Proposed level 6

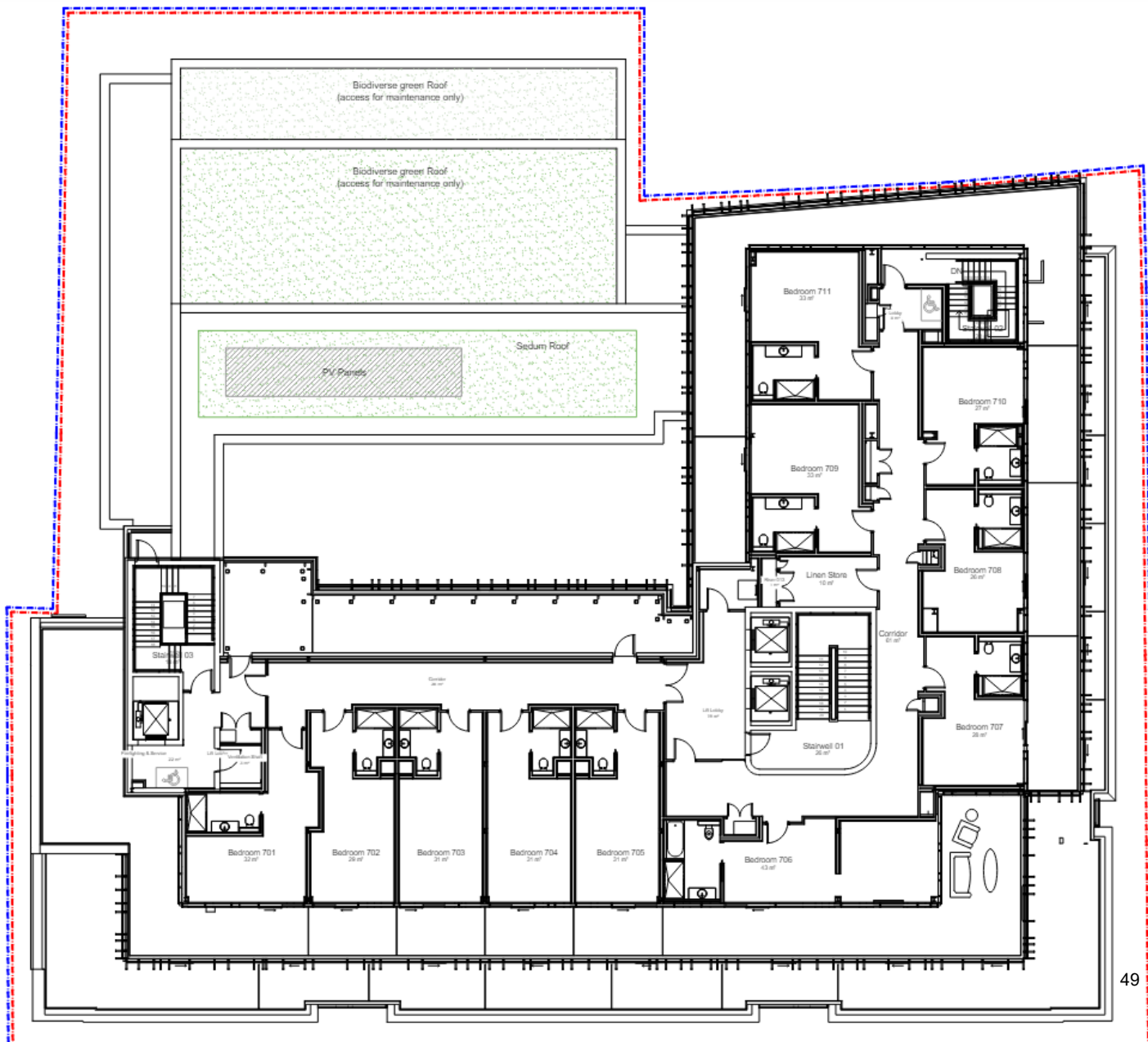
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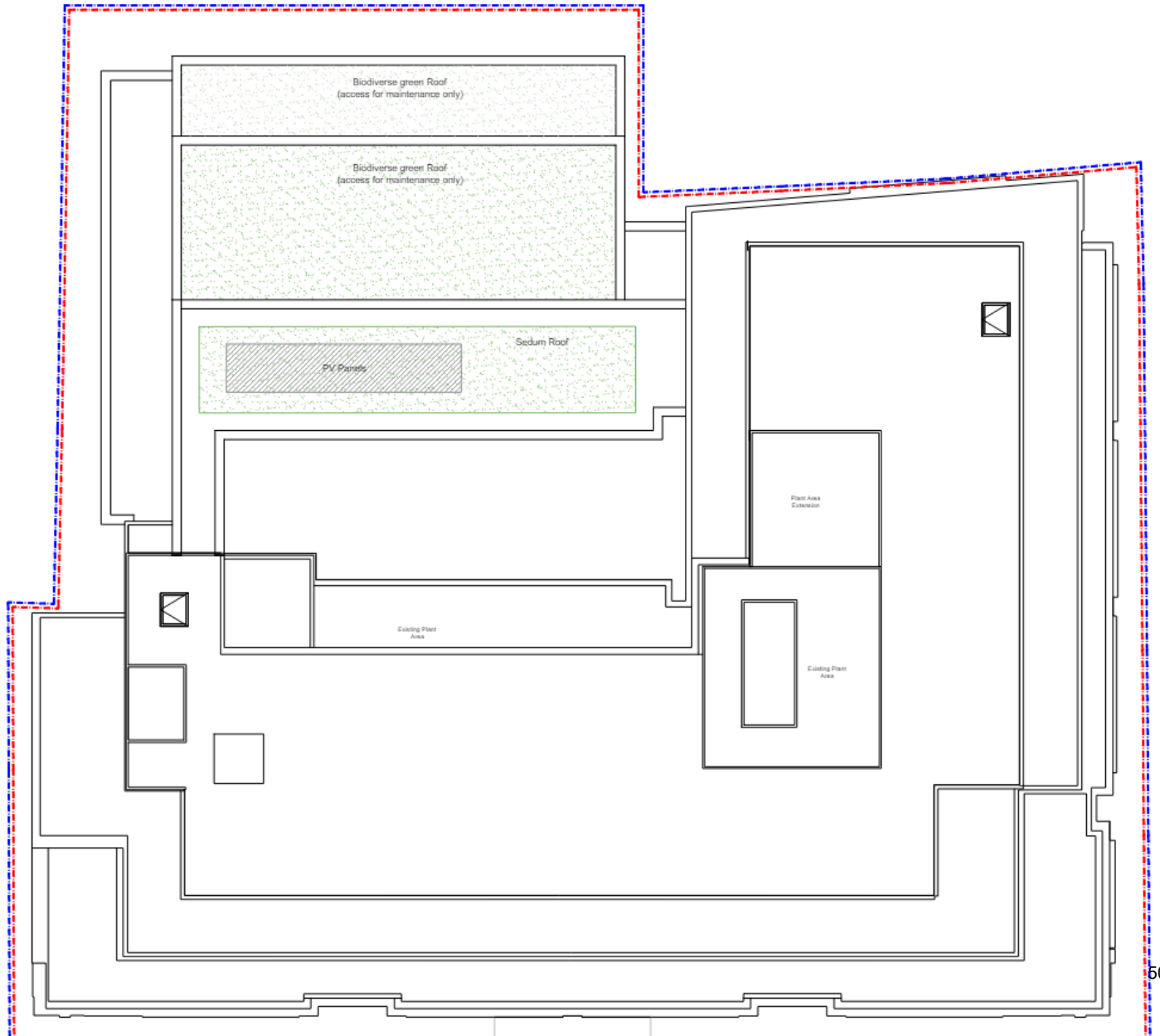
# Proposed level 7

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# Proposed roof plan

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# Proposed northern elevation



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# Proposed eastern elevation



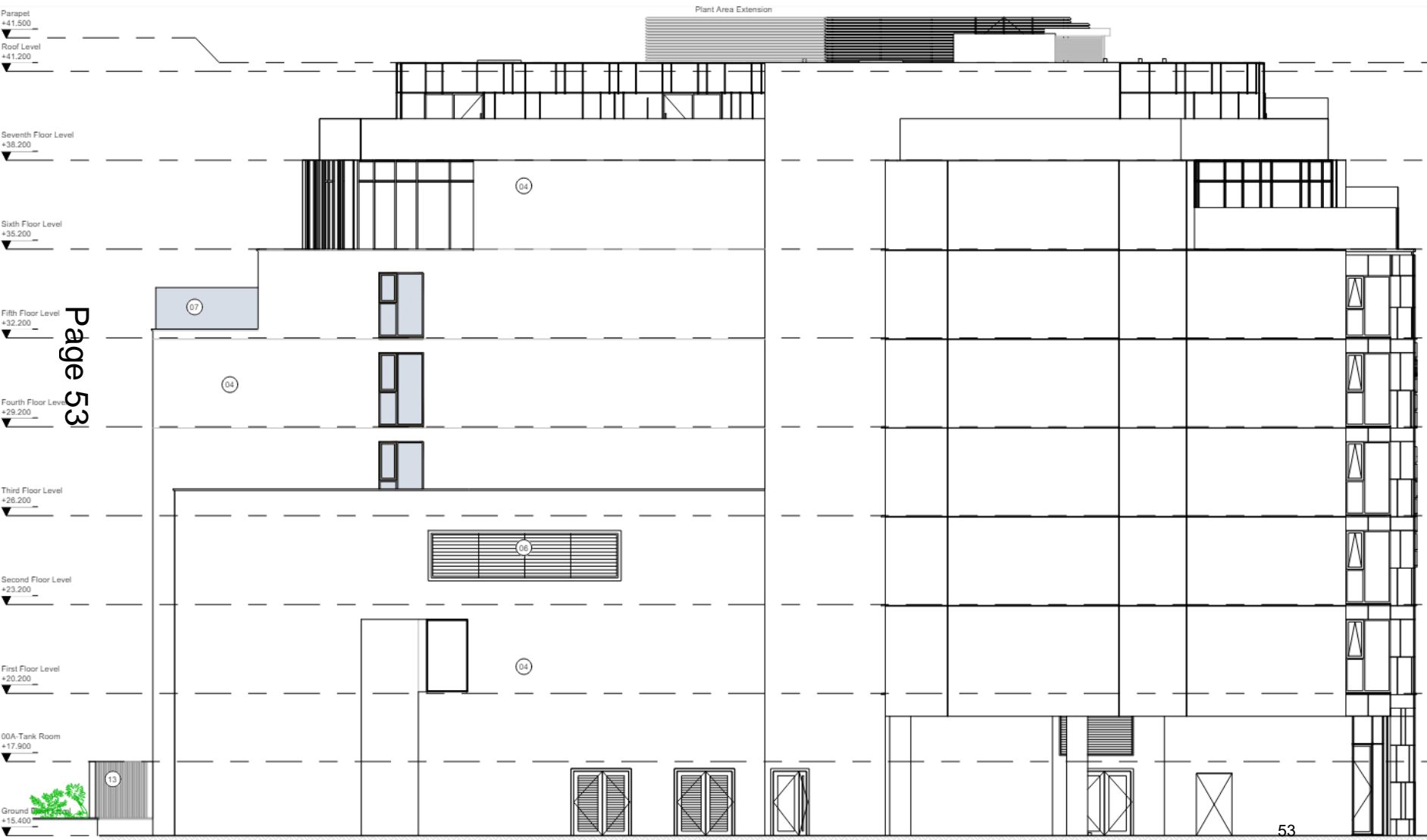
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Plant Area Extension

Public Art allocated zone

- Parapet +41.500
- Roof Level +41.200
- Seventh Floor Level +38.200
- Sixth Floor Level +35.200
- Fifth Floor Level +32.200
- Fourth Floor Level +29.200
- Third Floor Level +26.200
- Second Floor Level +23.200
- First Floor Level +20.200
- Ground Floor Level +15.400

# Proposed western elevation



# Planning Balance

## Approval

Key material considerations

- Increase visitor accommodation (30 rooms) in highly sustainable location
- Additional employment generated from additional rooms
- BREAM excellent and enhanced water efficiency
- Biodiversity net gain
- No harm to surrounding residential occupiers
- No harm to pocket park
- No harm to amenity of offices surrounding



## Refusal

Key material considerations

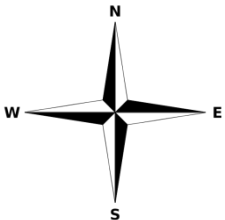
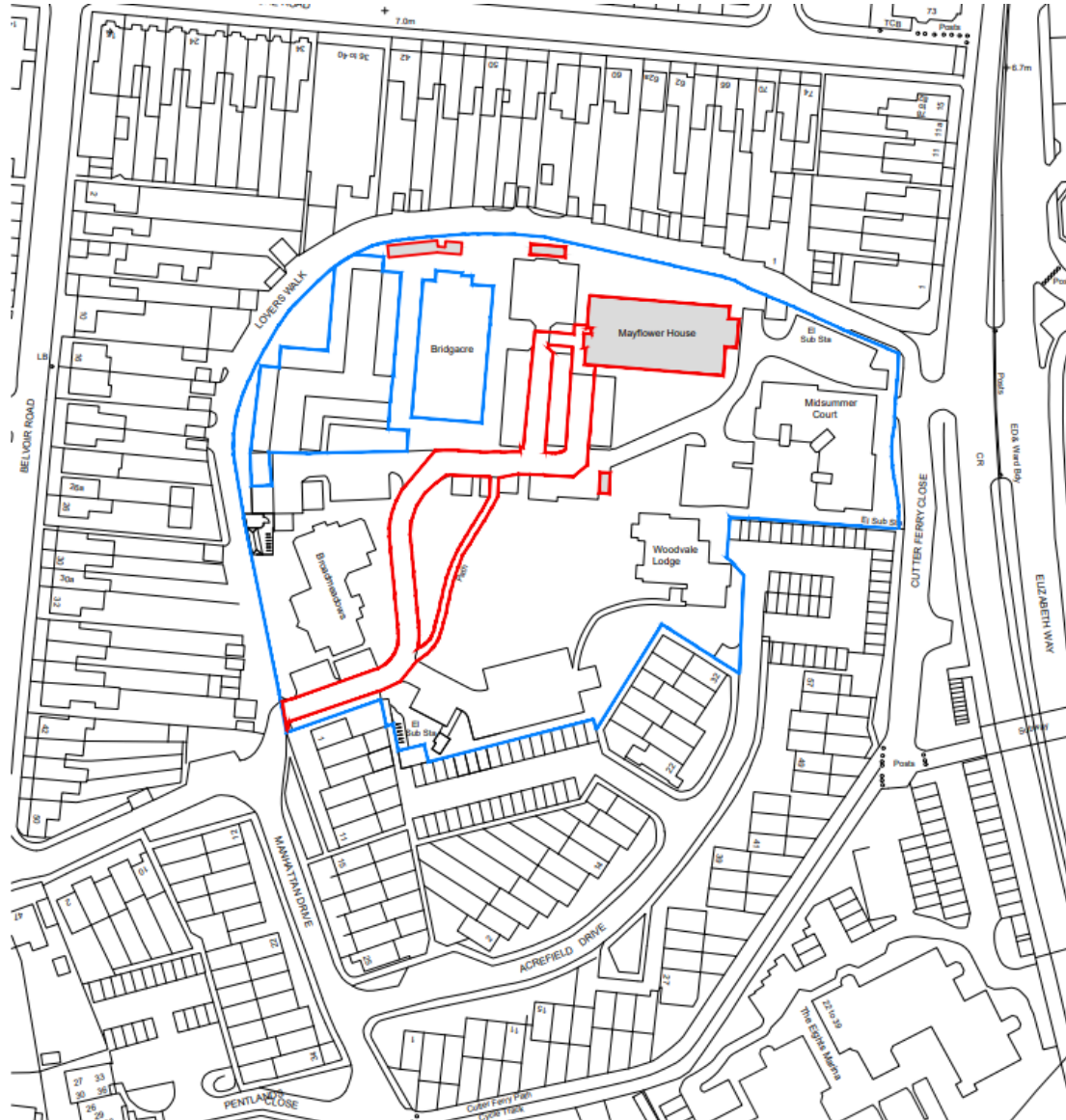
- None

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**Officer Recommendation: Approve**

# MINOR APPLICATIONS

# 23/02127/FUL - Mayflower House Site Location Plan





# Existing North Elevation

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EXISTING NORTH ELEVATION AS APPROVED - This includes plant, 2 no. removed telecom base stations & ECA not yet installed.

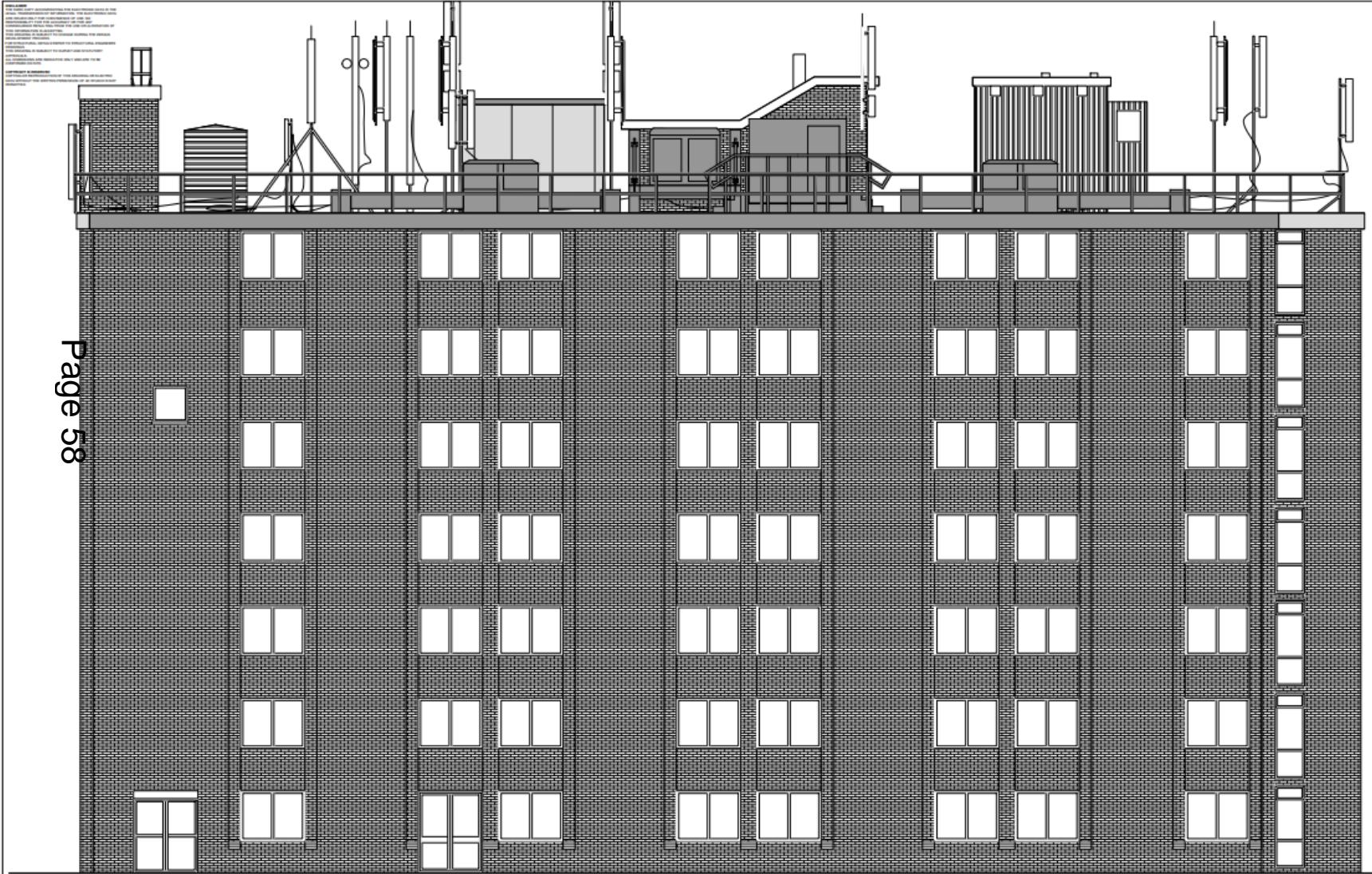
**MAYFLOWER HOUSE**  
MANHATTAN DRIVE, CAMBRIDGE, CB41JT

Drawing Title: EXISTING NORTH ELEVATION  
AS APPROVED  
Scale: 1:100 @ A3  
Date: APRIL 2023  
Drawing Number: 40\_1846\_P1\_014\_Rev B

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info@4pstudio.com  
www.4pstudio.com

# Existing South Elevation



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EXISTING SOUTH ELEVATION AS APPROVED - This includes plant, 2 no. removed telecom base stations & ECA not yet installed.

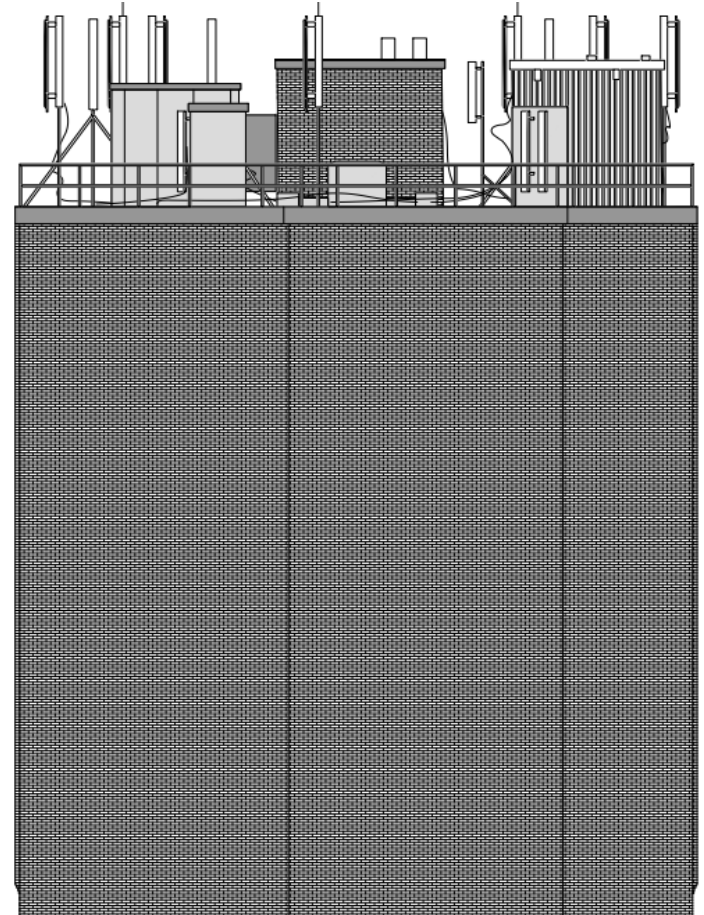
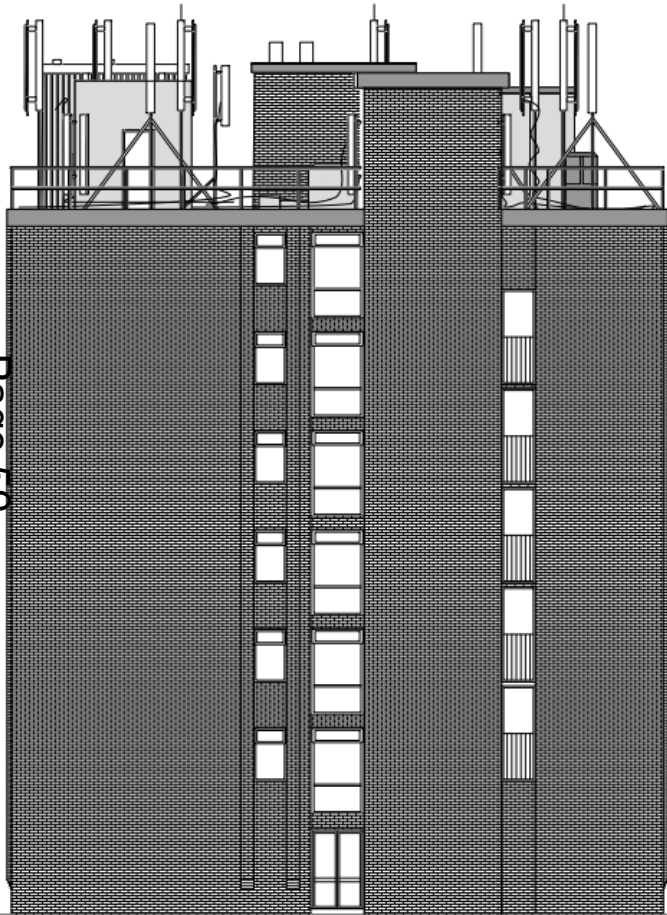
**MAYFLOWER HOUSE**  
MANHATTAN DRIVE, CAMBRIDGE, CB41JT

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Scale: 1:100 @ A3  
Date: APRIL 2023  
Drawing Number: 4D\_1845\_PL\_015\_Rev B

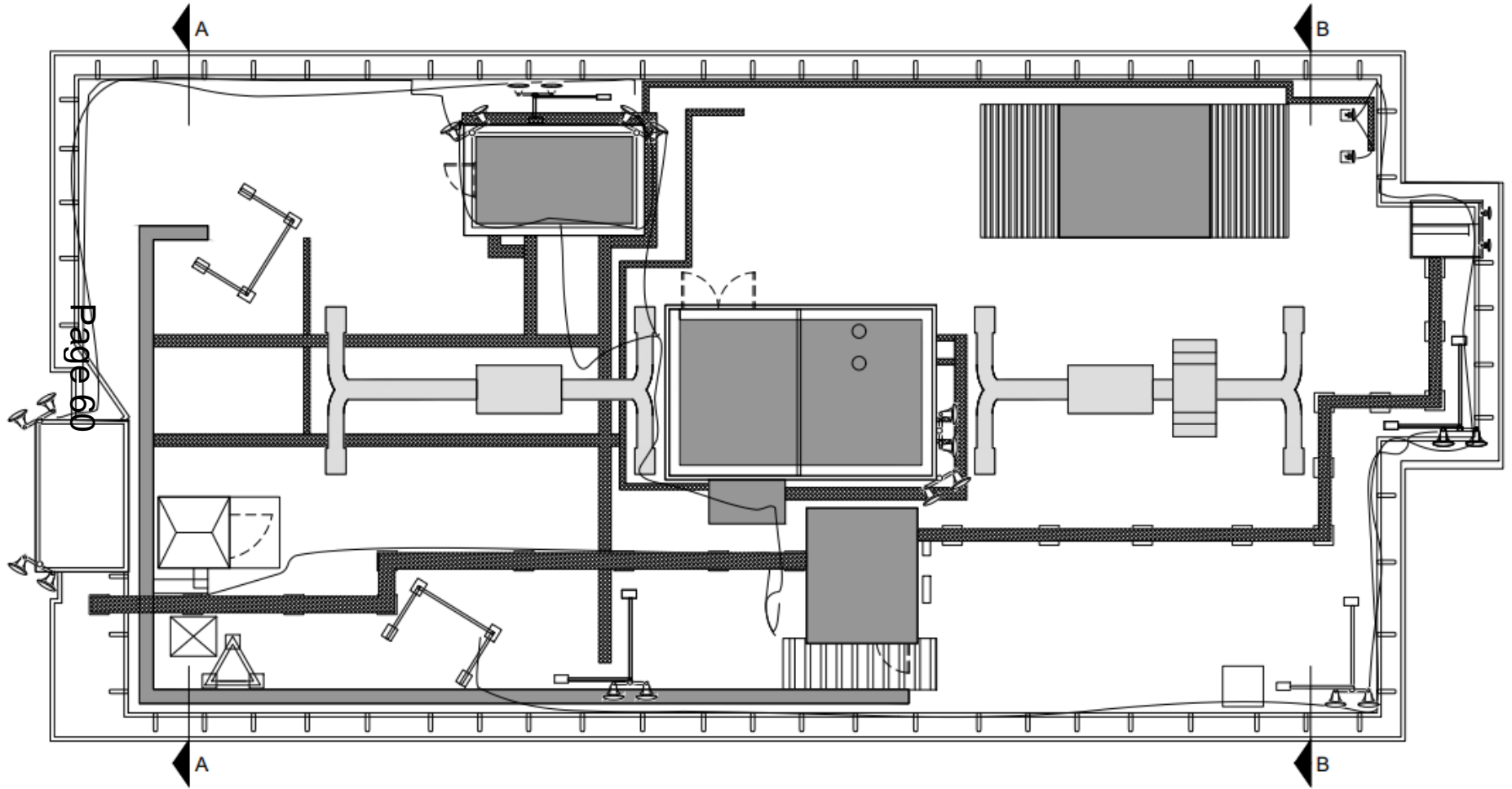
58  
4D STUDIOS  
EST. 2012

# Existing West (left) and East (right) Elevations

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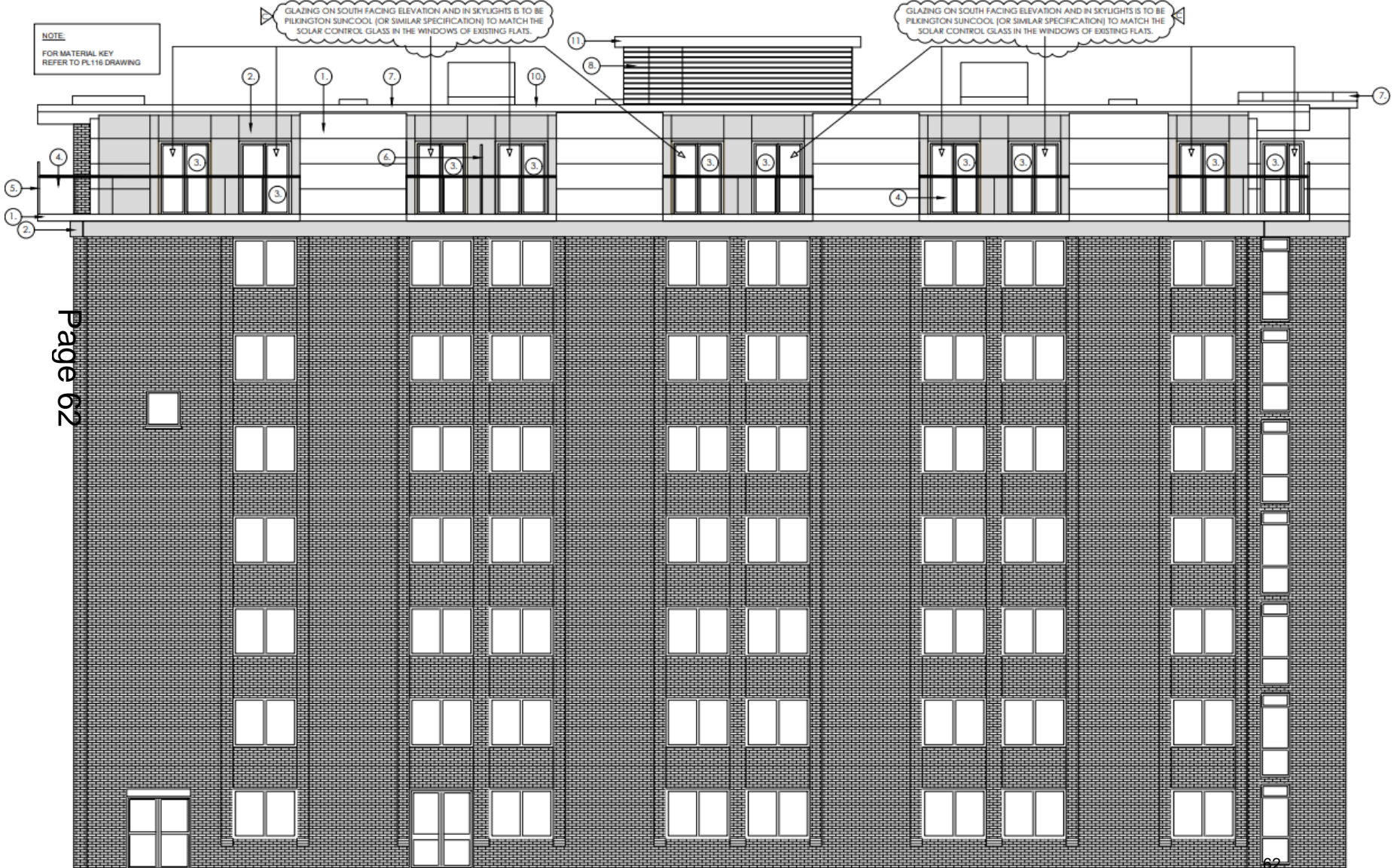
# Existing Roof Plan



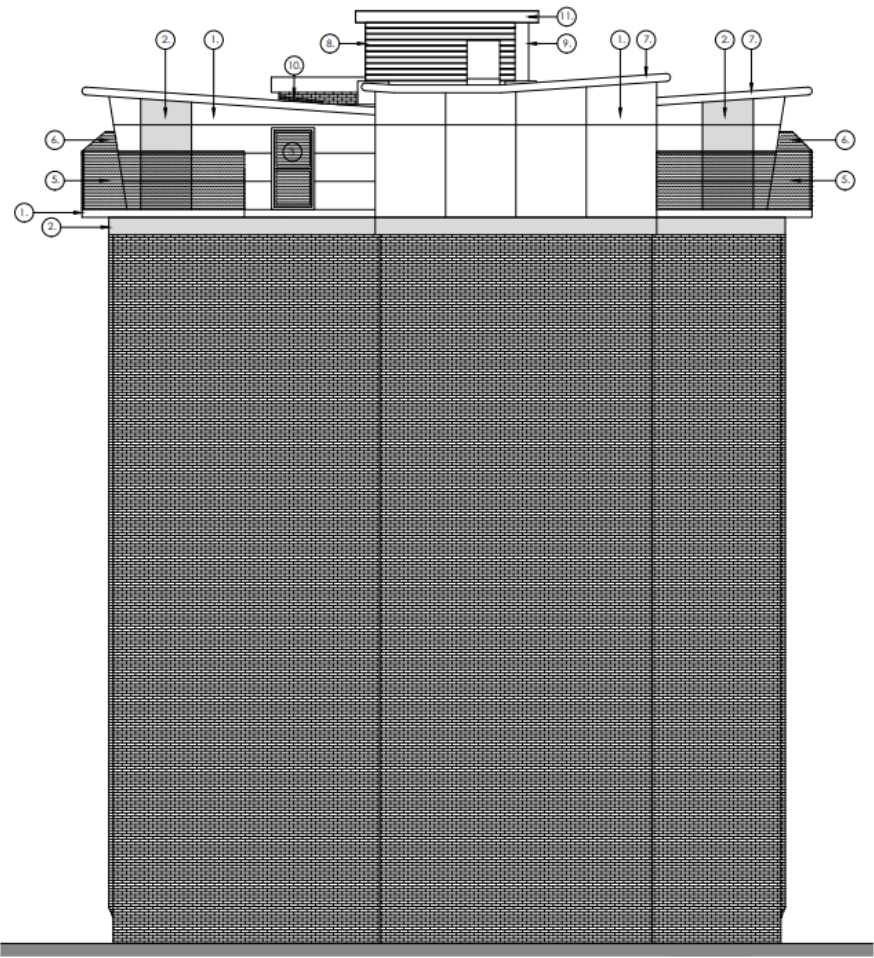
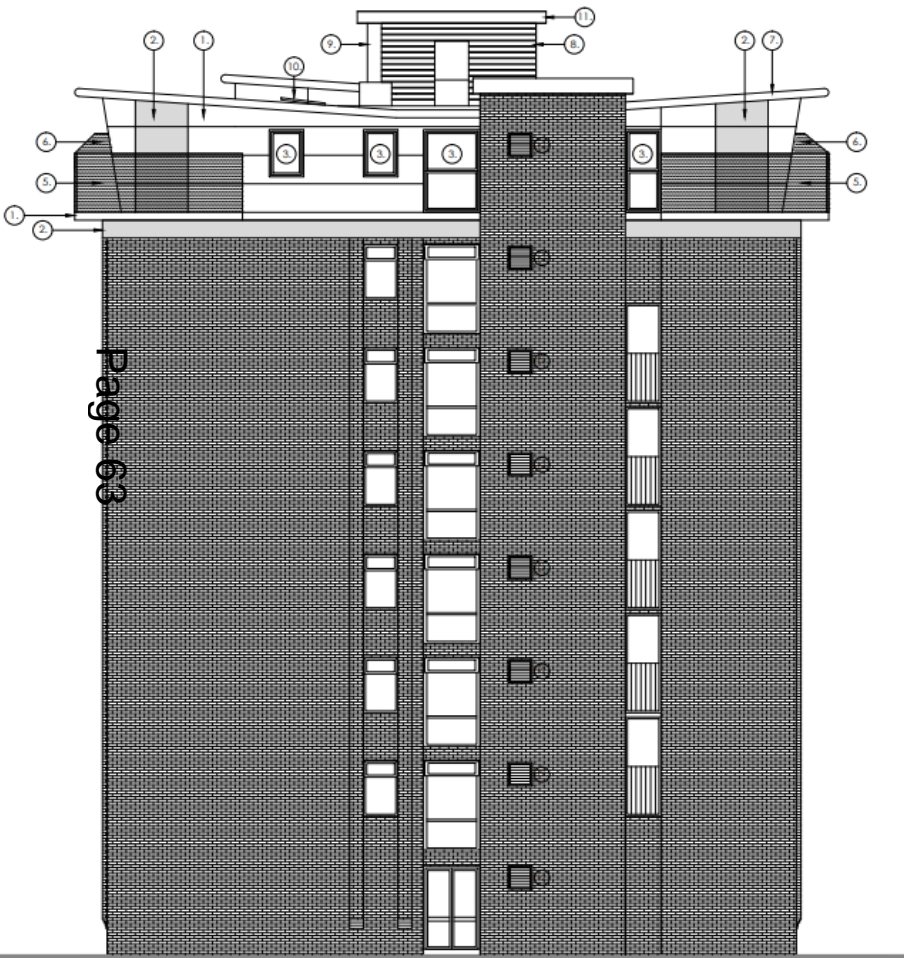
# Proposed North Elevation



# Proposed South Elevation

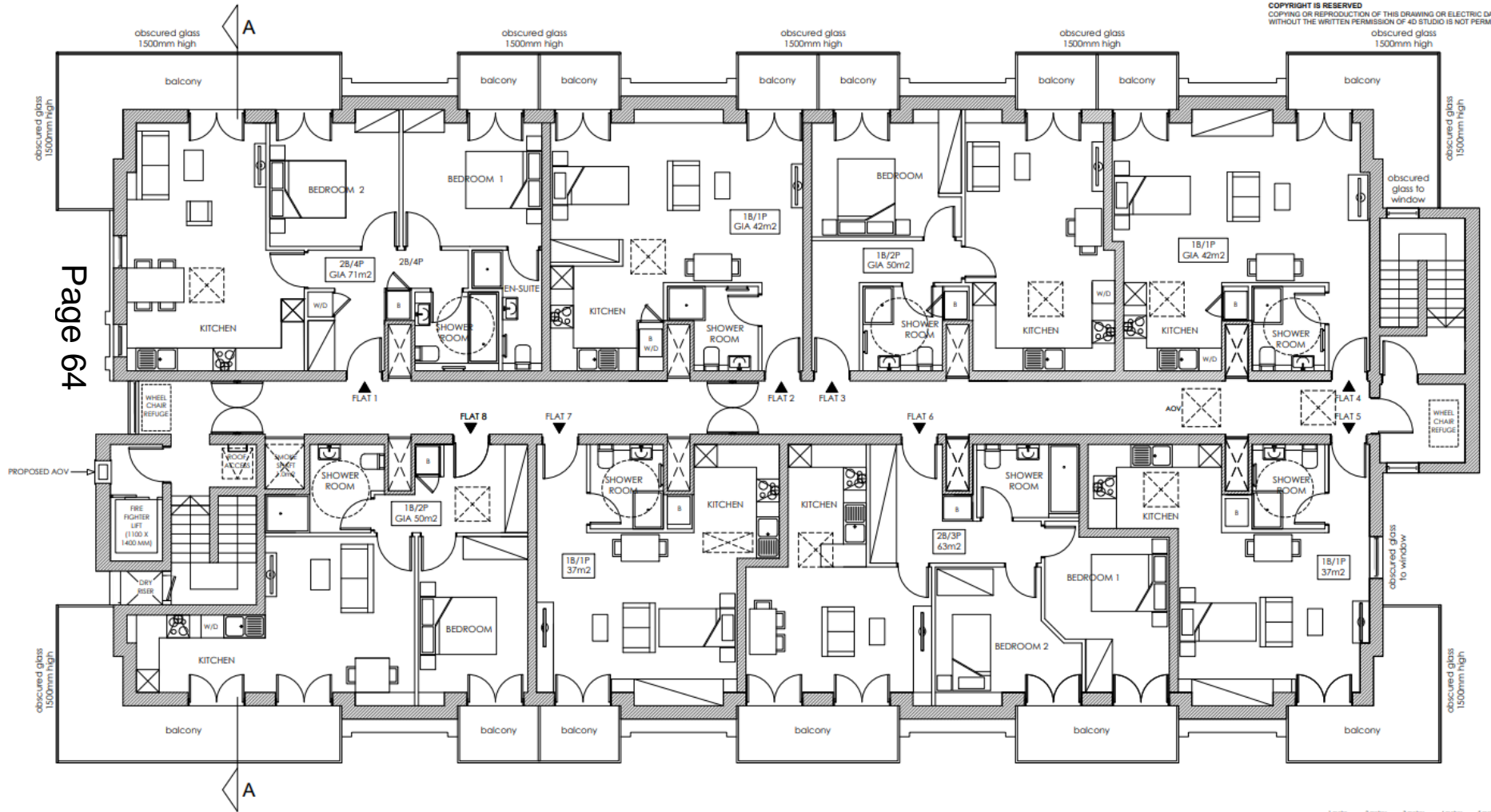


# Proposed West (left) and East (right) Elevation



# Proposed Floor Extension Plan

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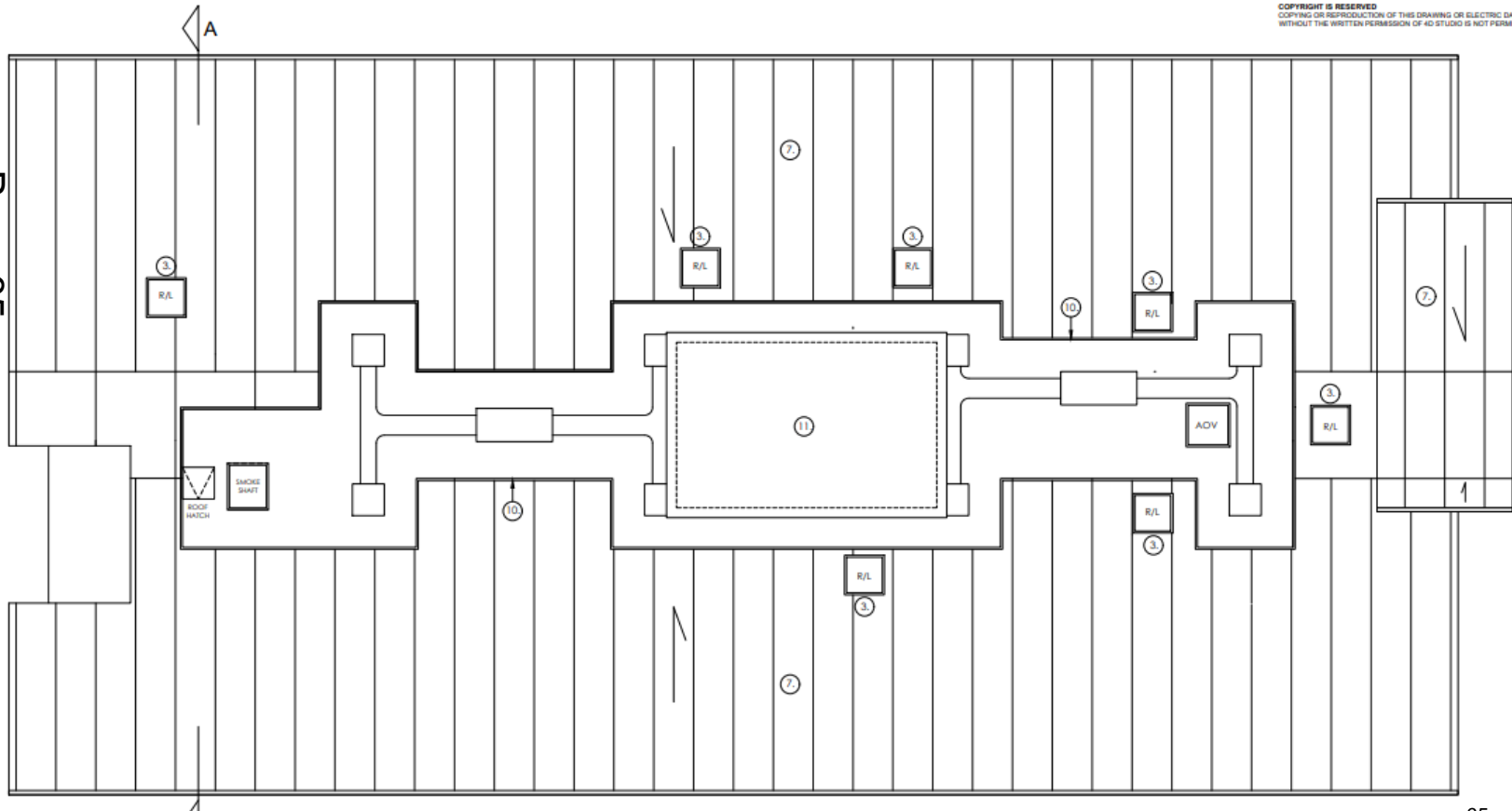
# Proposed Roof Plan



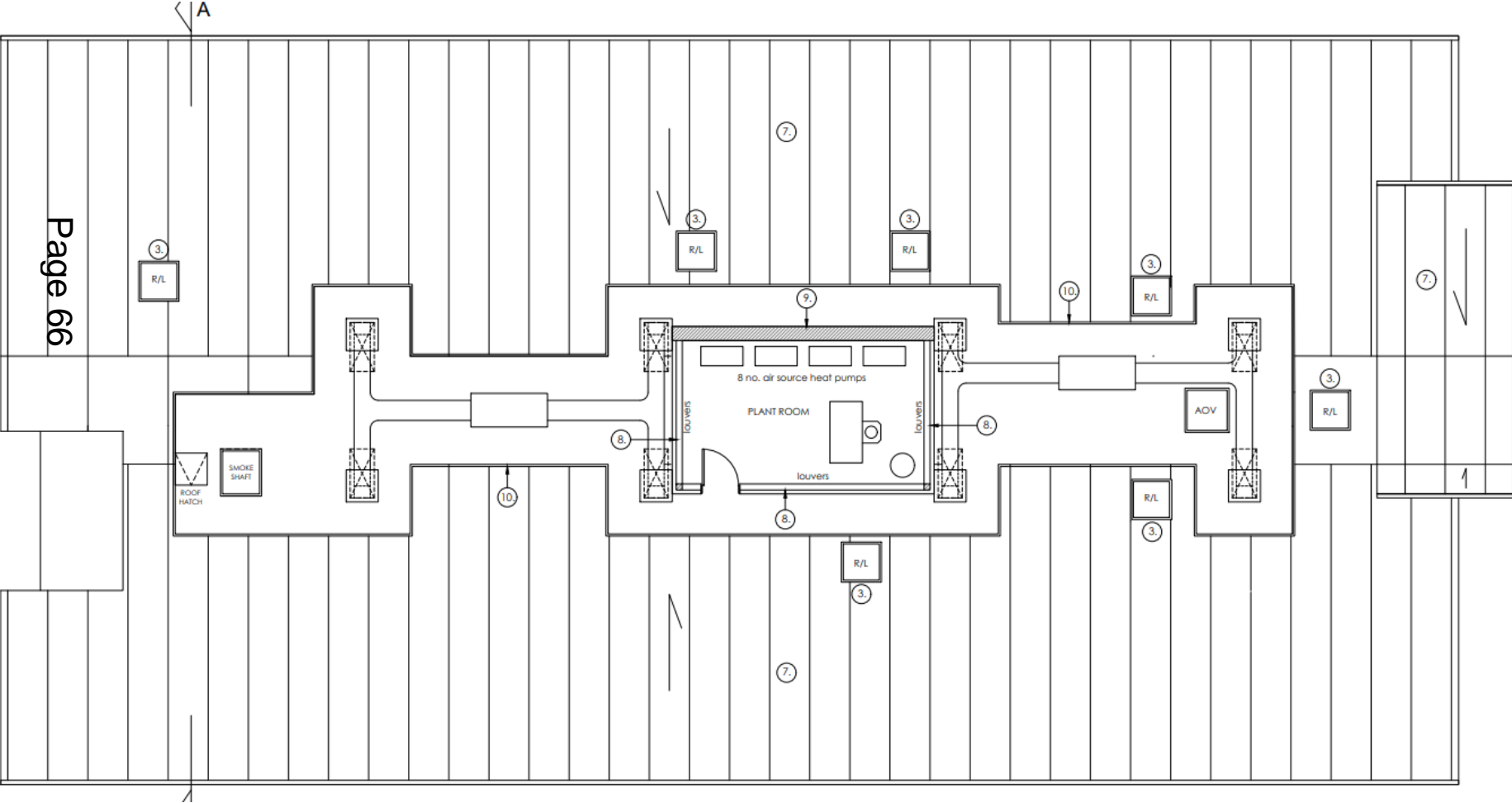
**NOTE:**  
FOR MATERIAL KEY  
REFER TO PL116 DRAWING

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# Proposed Roof Plant Room Plan



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# Existing and Proposed



# Existing and Proposed – Elizabeth Way Bridge

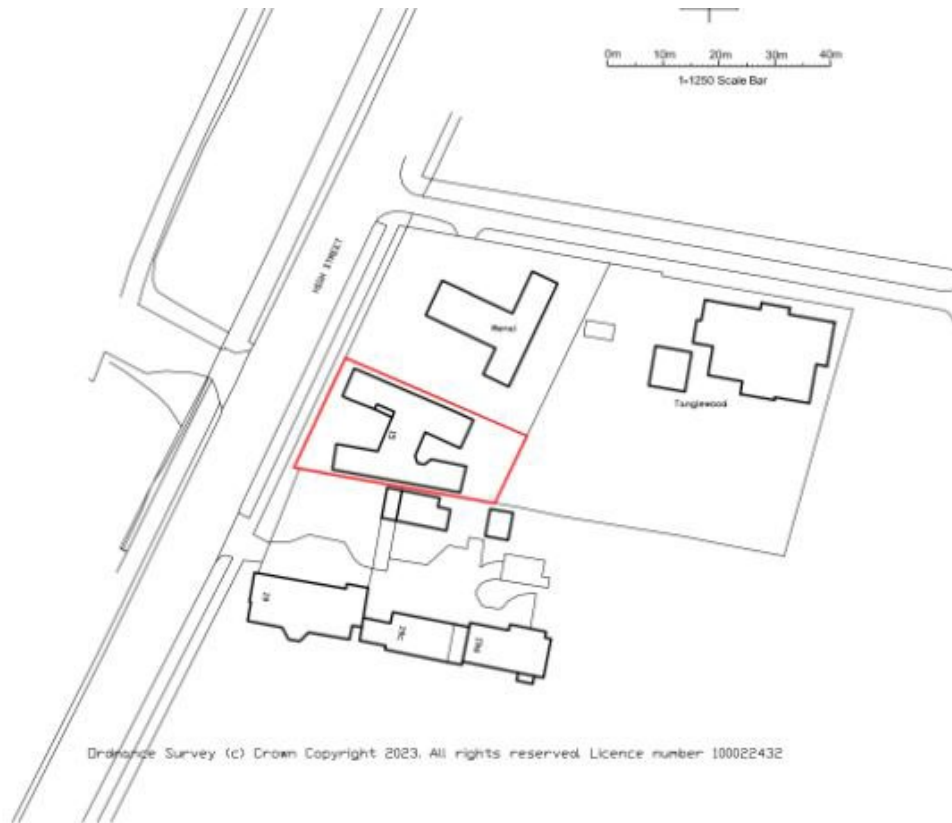


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# 23/04434/FUL – 15 High Street Trumpington Site Location Plan

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# Proposed Block Plan

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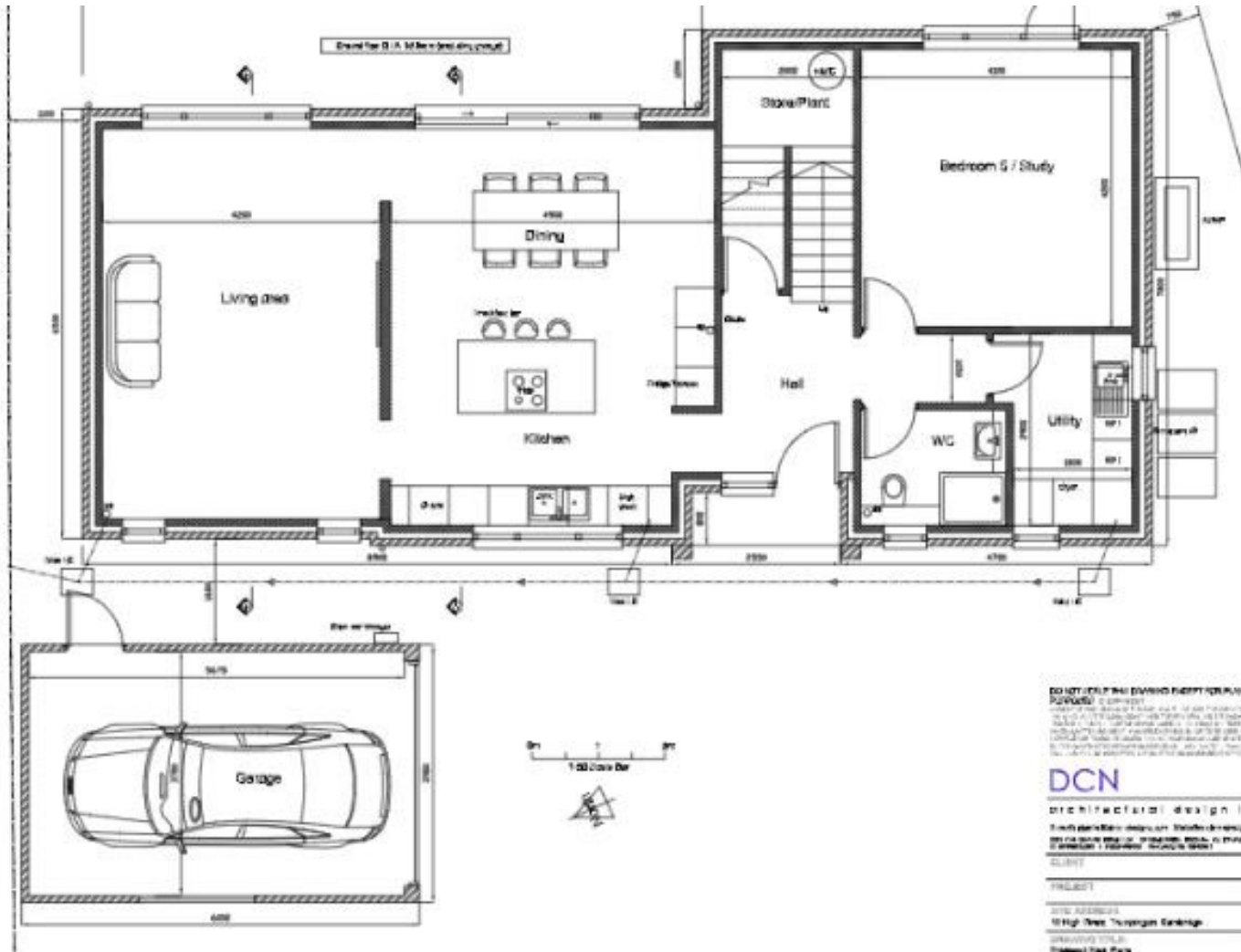
# Proposed Site Plan



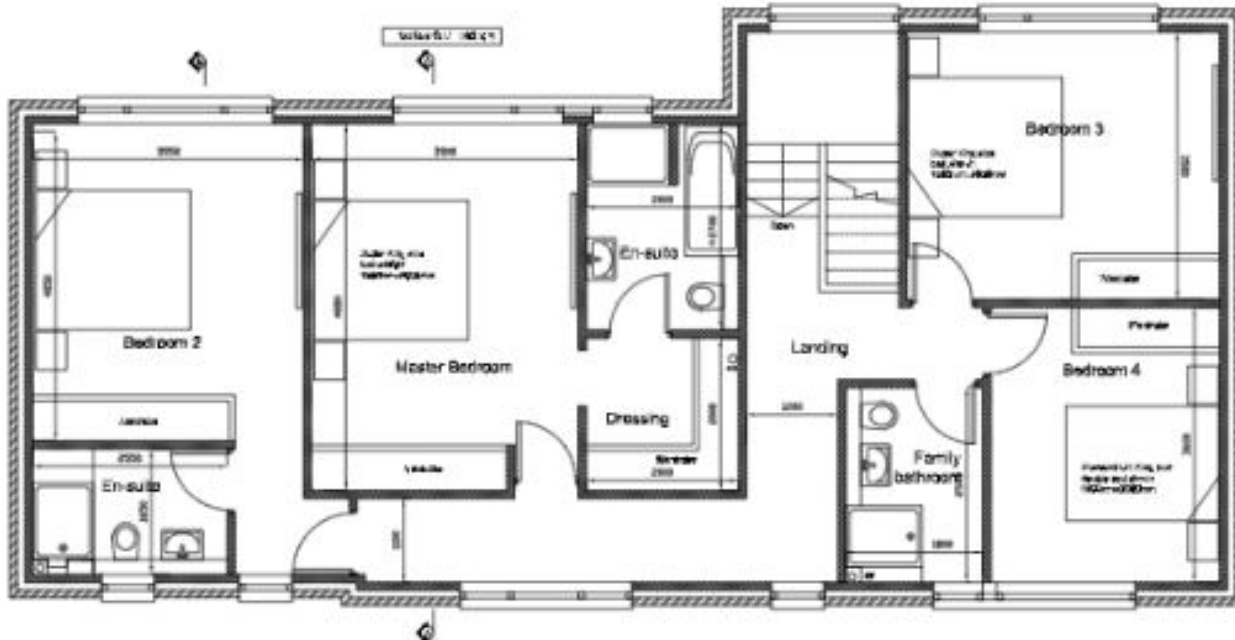


# Proposed Ground Floor Plan

Page 73

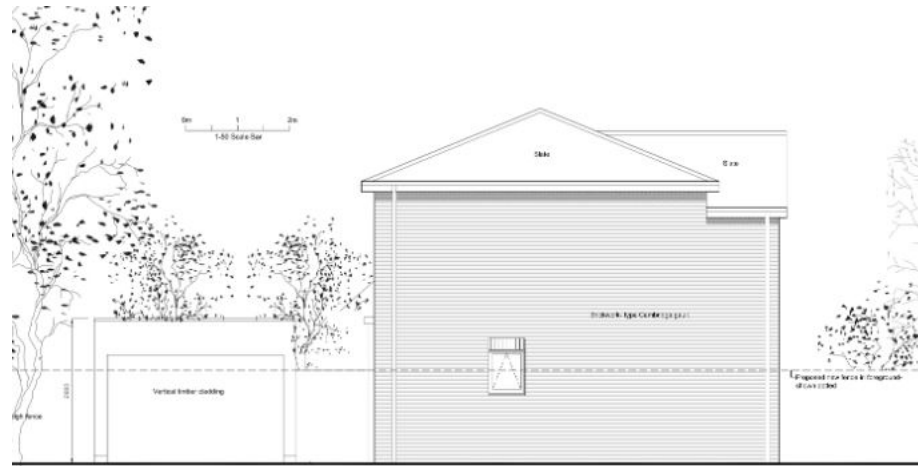


# Proposed First Floor Plan



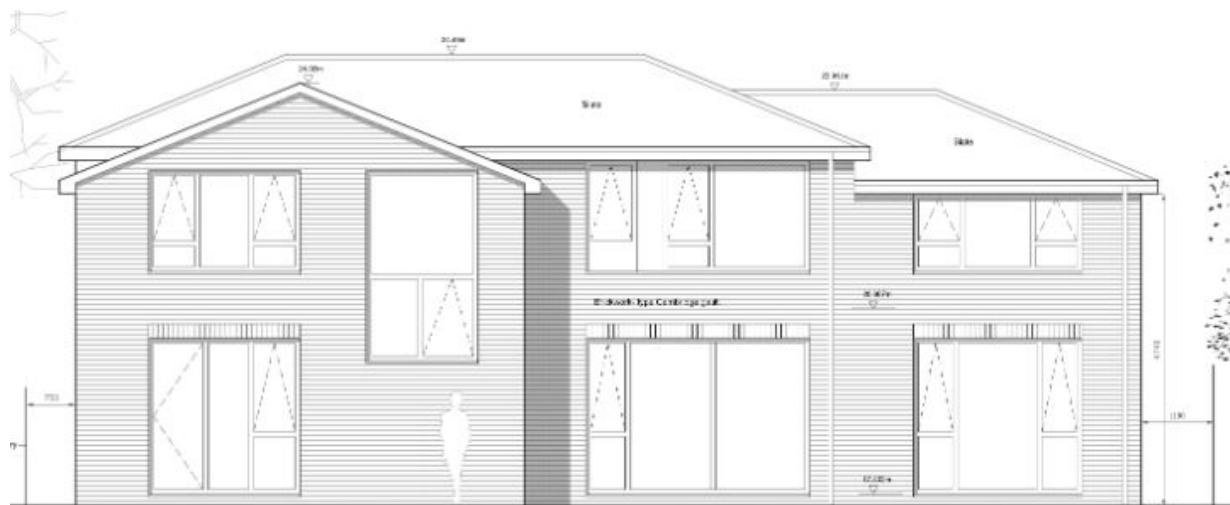
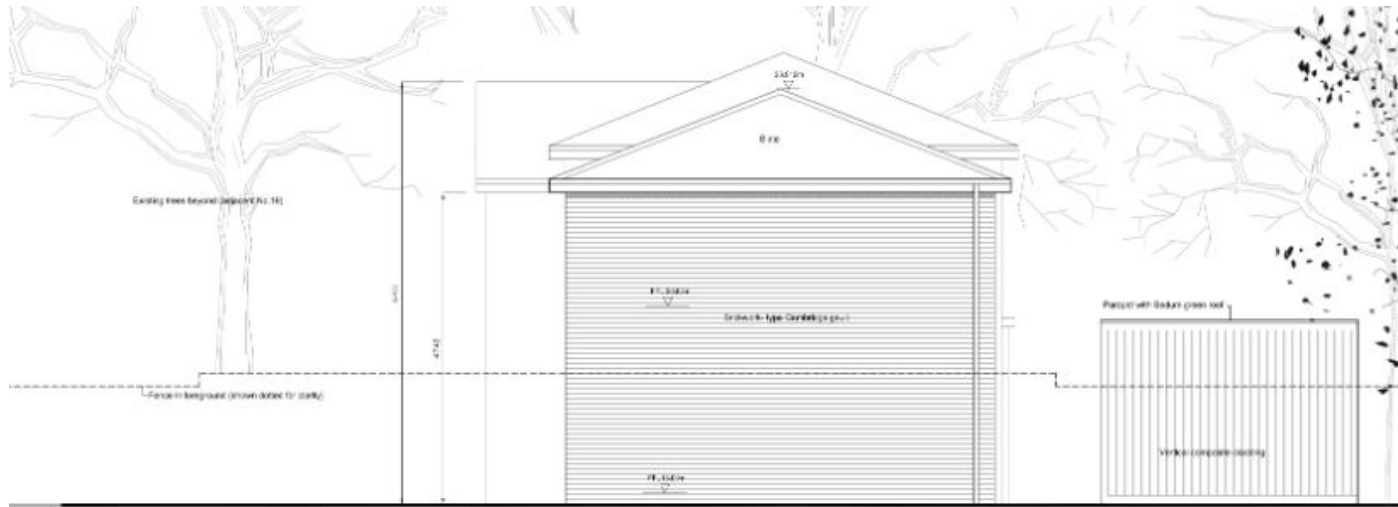
# Proposed South and West Elevation

Page 75

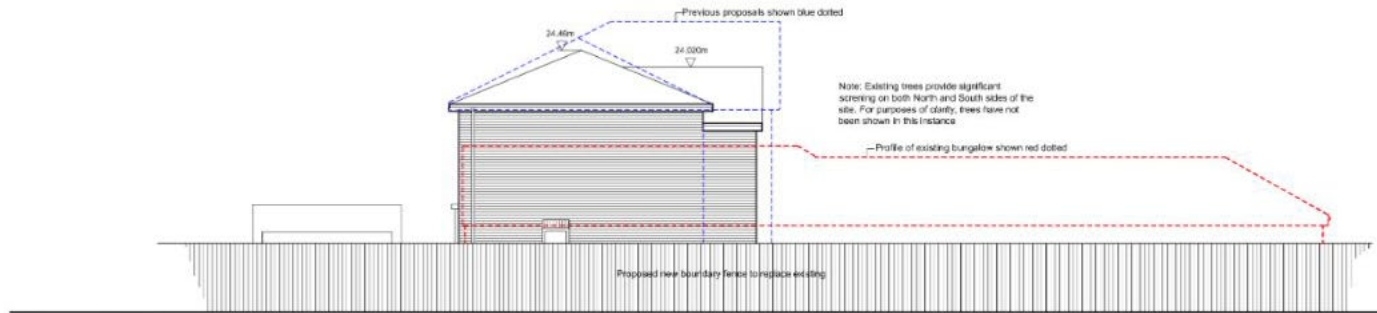


# Proposed North and East Elevations

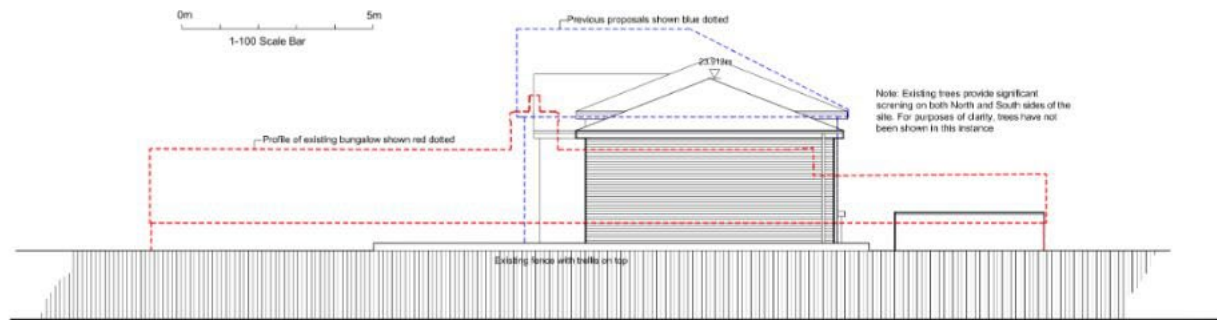
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# Proposed North and South Sections



Proposed South Elevation (View B) SCALE 1-100@A2



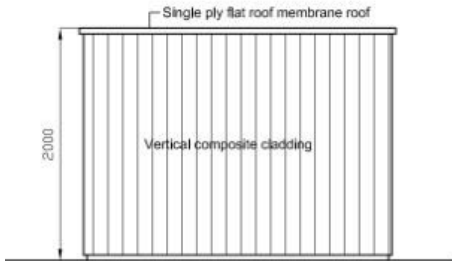
Proposed North Elevation (View A) SCALE 1-100@A2

# Front and rear visuals

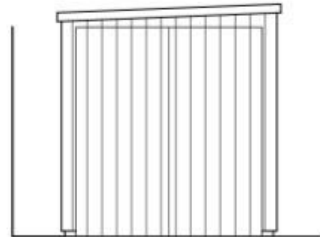


# Cycle Store Plans

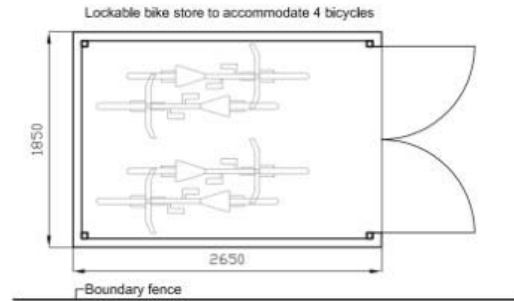
Page 79



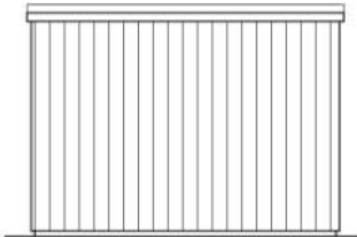
Proposed North Elevation SCALE 1-50@A4



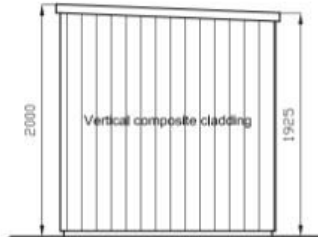
Proposed East Elevation SCALE 1-50@A4



Proposed Plan SCALE 1-50@A4



Proposed South Elevation SCALE 1-50@A4



Proposed West Elevation SCALE 1-50@A4

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 806 Architectural Design Ltd, 21 Fleet Street, Ipswich, Suffolk, IP1 1AA, UK  
 Tel: 01473 433333 Fax: 01473 433334

CLIENT \_\_\_\_\_

PROJECT \_\_\_\_\_

SITE ADDRESS  
 15 High Street, Trumpington, Cambridge

DRAWING TITLE:  
 Proposed Bicycle Store

DRAWN BY: 552A-PH-10	REVISOR: B
DATE: 15-5-24	SCALE: 1-50@A4
DRAWN BY: DH	CHECKED BY: DH

# Site photos from Menai





# Site photos from Menai

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# Planning Balance

## Approval

Key material considerations:

- Principle: The erection of a dwelling and the subdivision of garden land is acceptable.
- Siting and design of the proposed dwelling is acceptable in this context



## Refusal

Key material considerations:

- None

Officer Recommendation: Approve subject to conditions

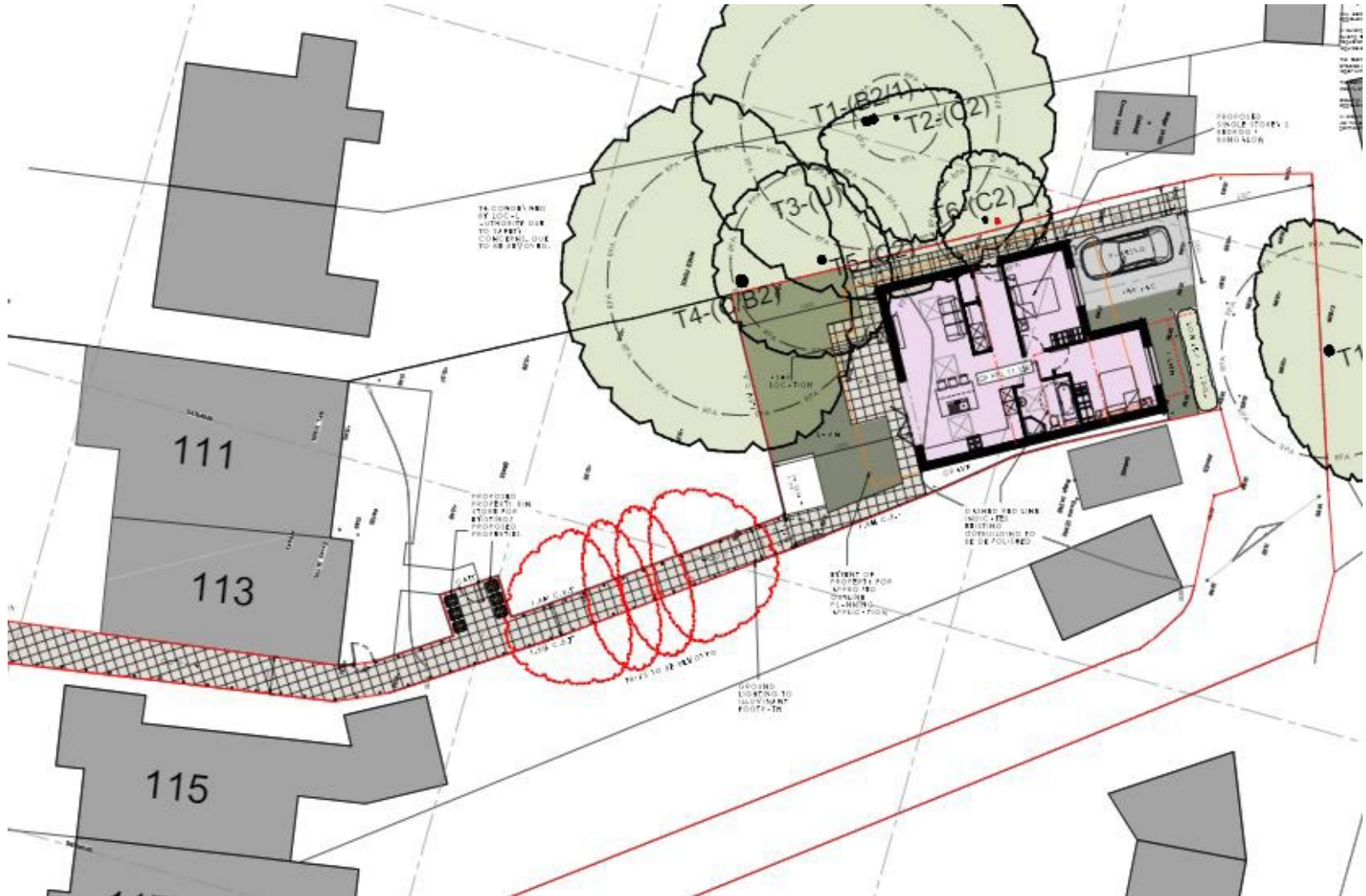
# 24/00245/REM – 111-113 Queen Ediths Way Site Location Plan

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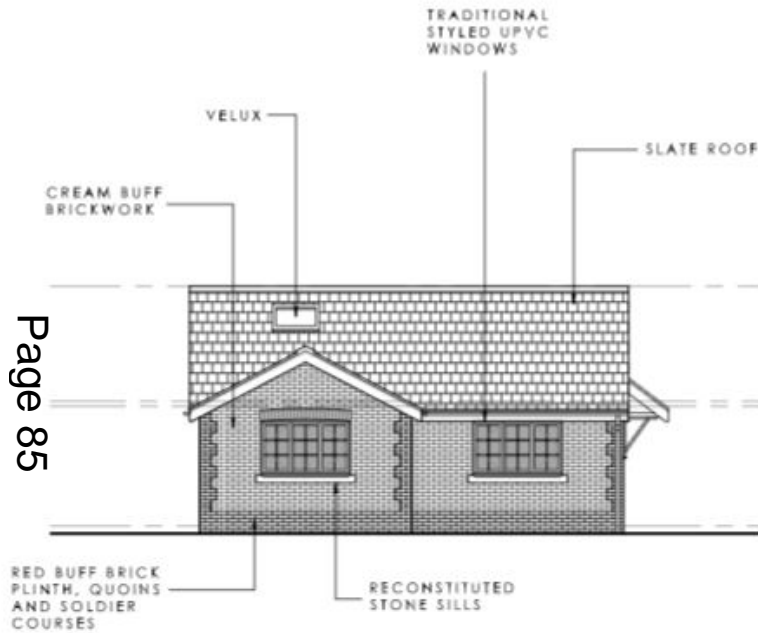
# Proposed Site plan

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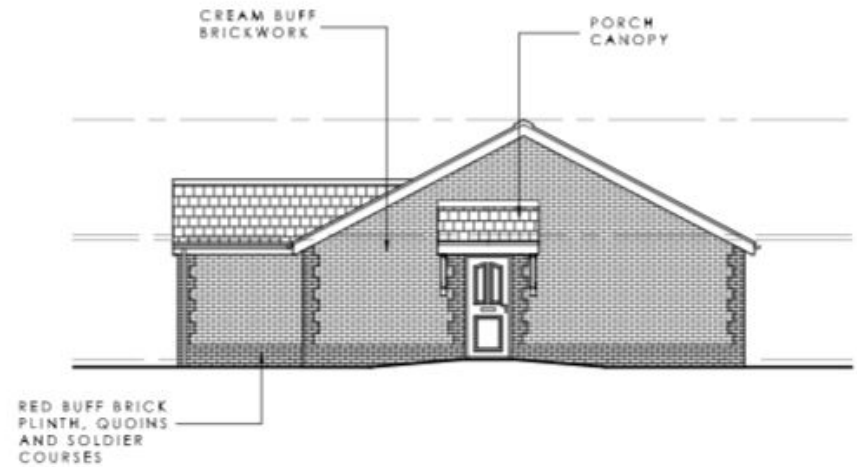
# Proposed North and West Elevations

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**FRONT ELEVATION 01**

PROPOSED 1:100 @ A1

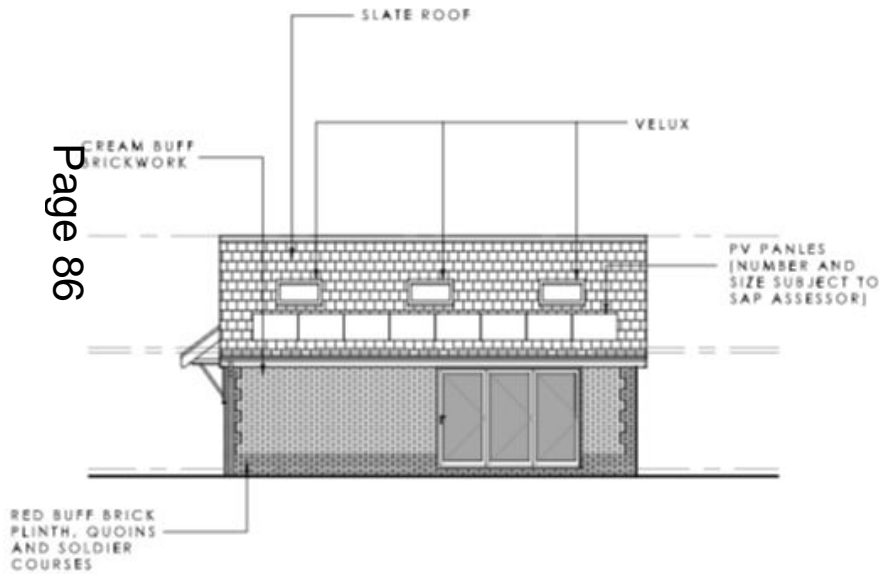


**SIDE ELEVATION 02**

PROPOSED 1:100 @ A1

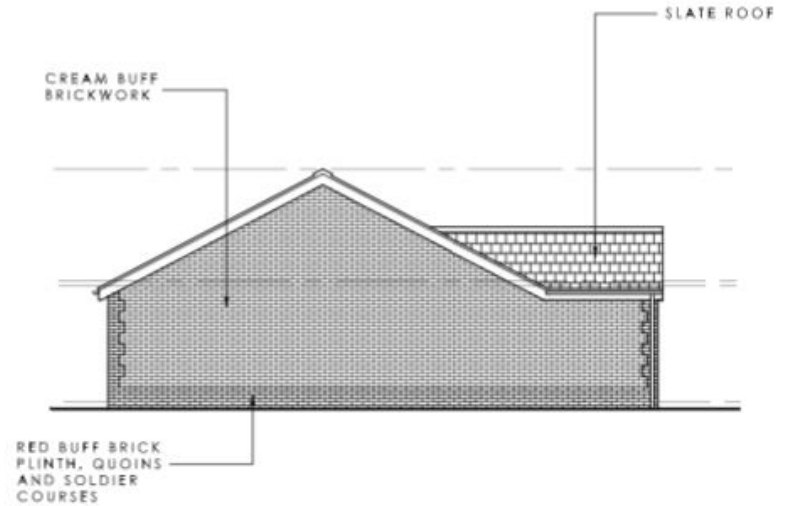
# Proposed South and East Elevations

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**REAR ELEVATION 03**

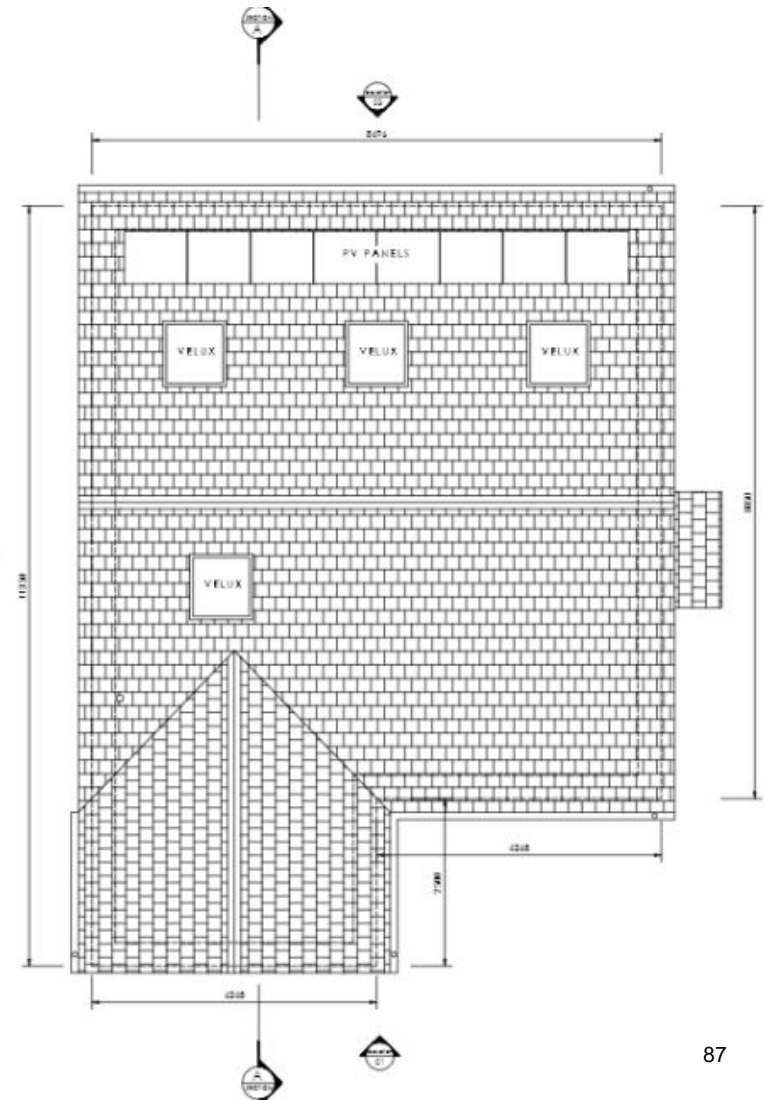
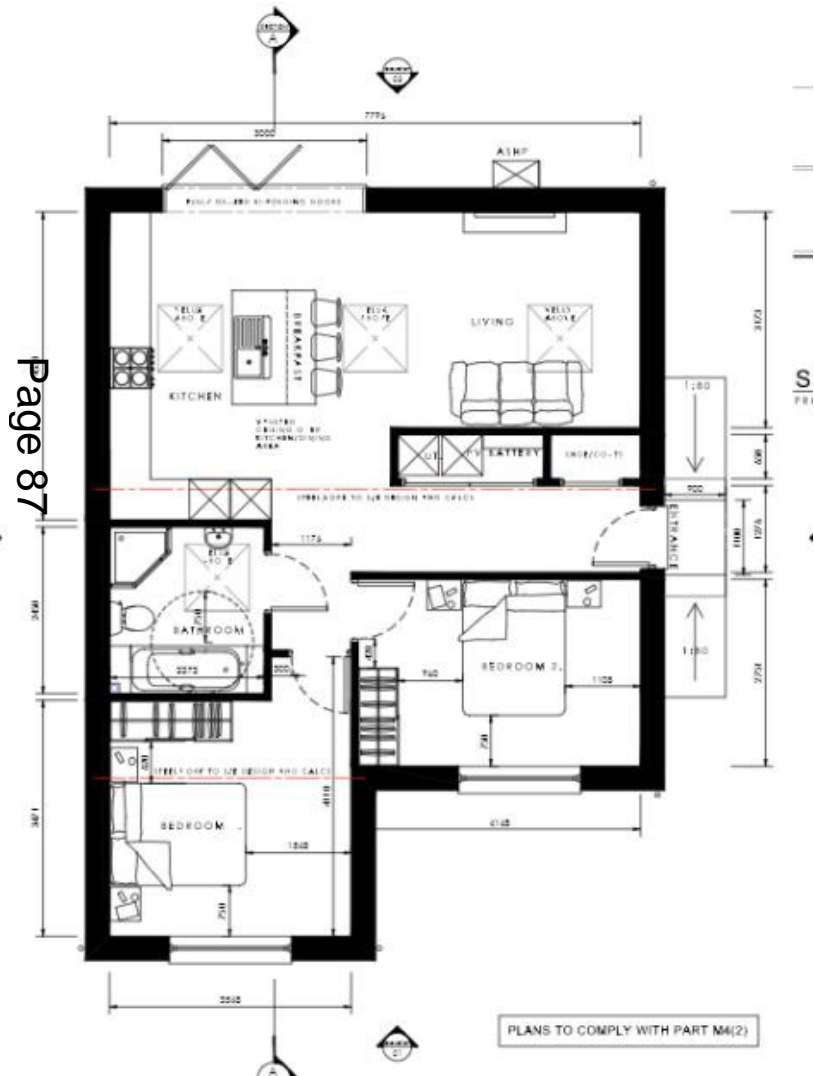
PROPOSED 1:100 @ A1



**SIDE ELEVATION 04**

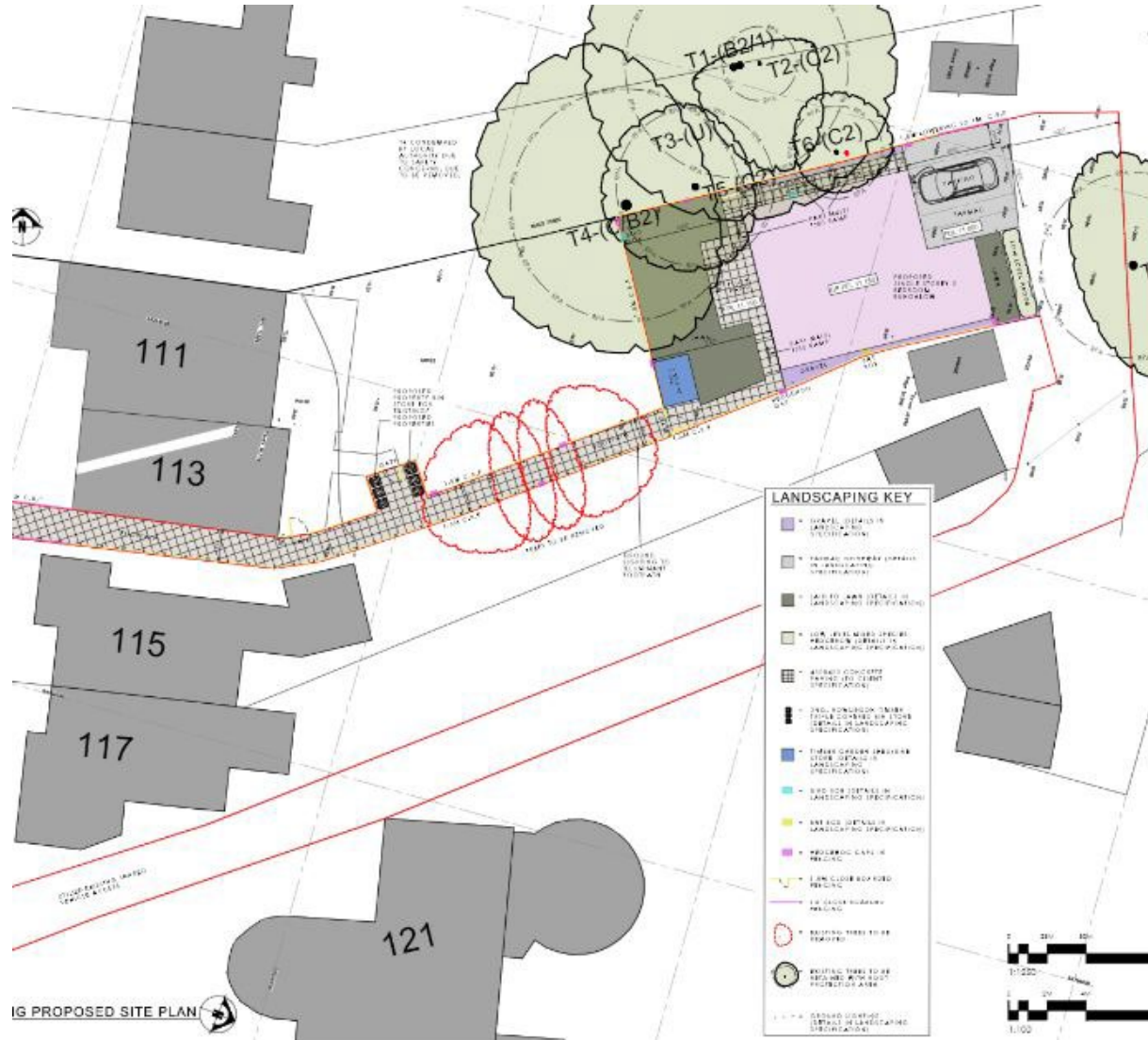
PROPOSED 1:100 @ A1

# Propose Floor Plans



PLANS TO COMPLY WITH PART M4(2)

# Landscaping Plan





# Planning Balance

## Approval

Key material considerations:

- Principle: The erection of a dwelling and the subdivision of garden land is acceptable.
- Site and design of the proposed dwelling is acceptable in this context



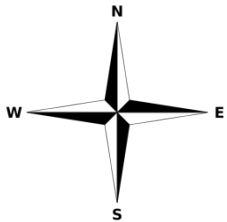
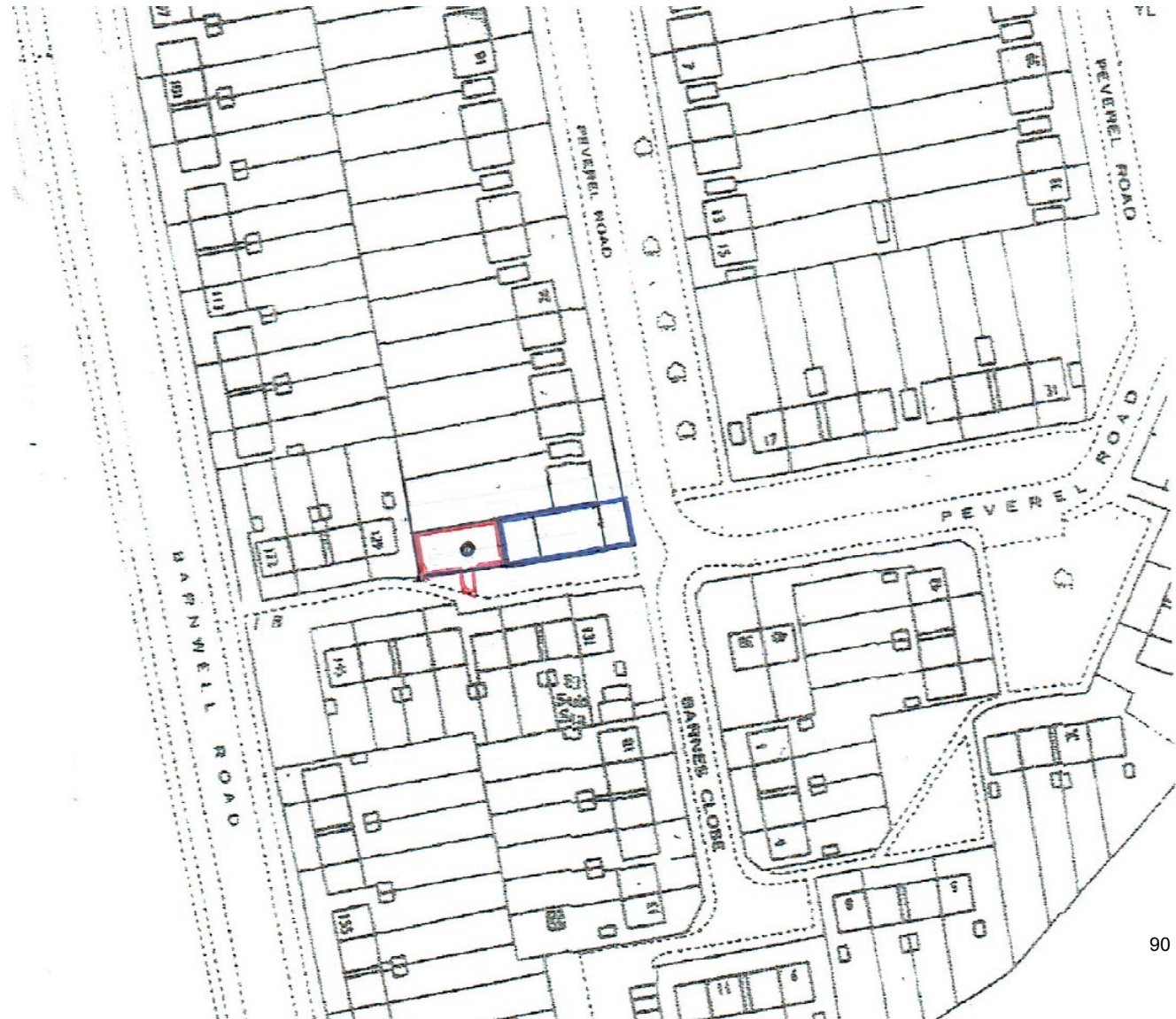
## Refusal

Key material considerations:

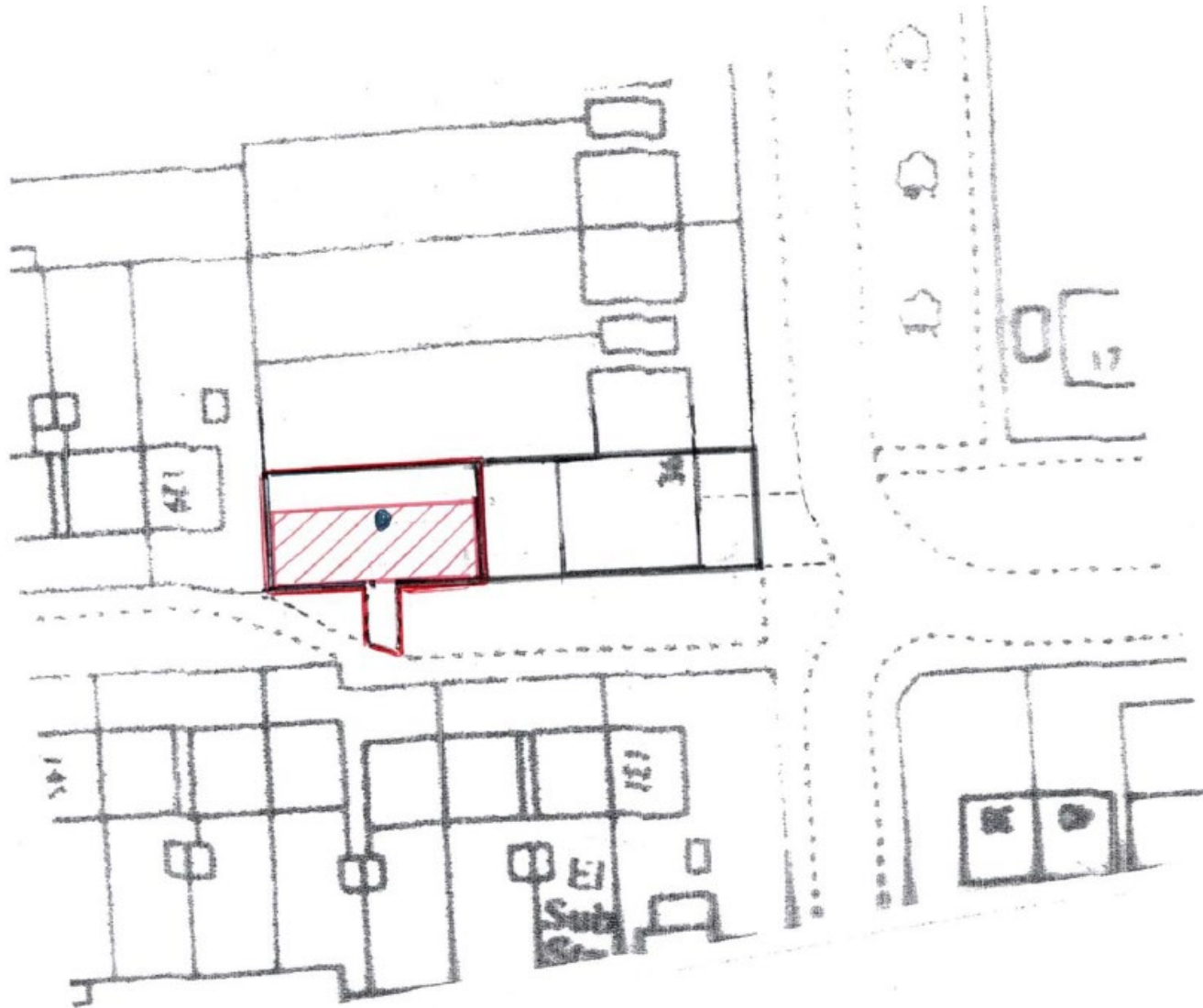
- None

**Officer Recommendation: Approve subject to conditions**

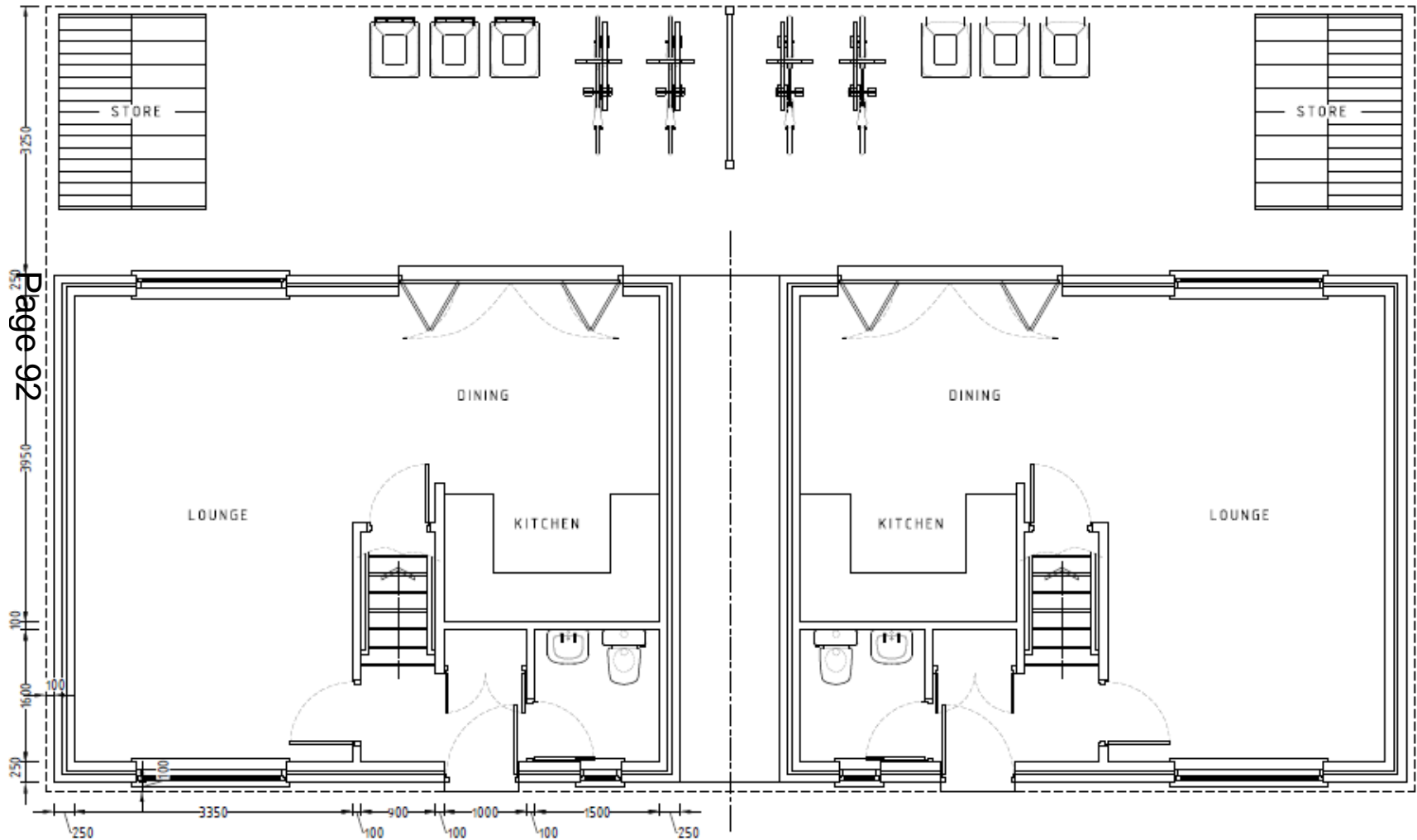
# 24/00658/FUL - 36 Peverel Road Site Location Plan



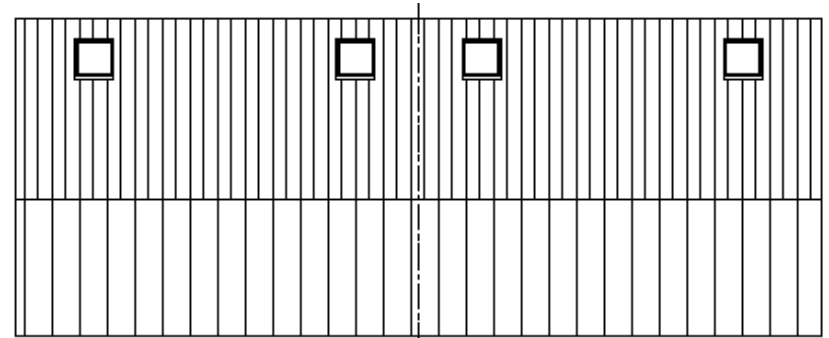
# Proposed Block Plan



# Proposed Ground Floor Layout Plan

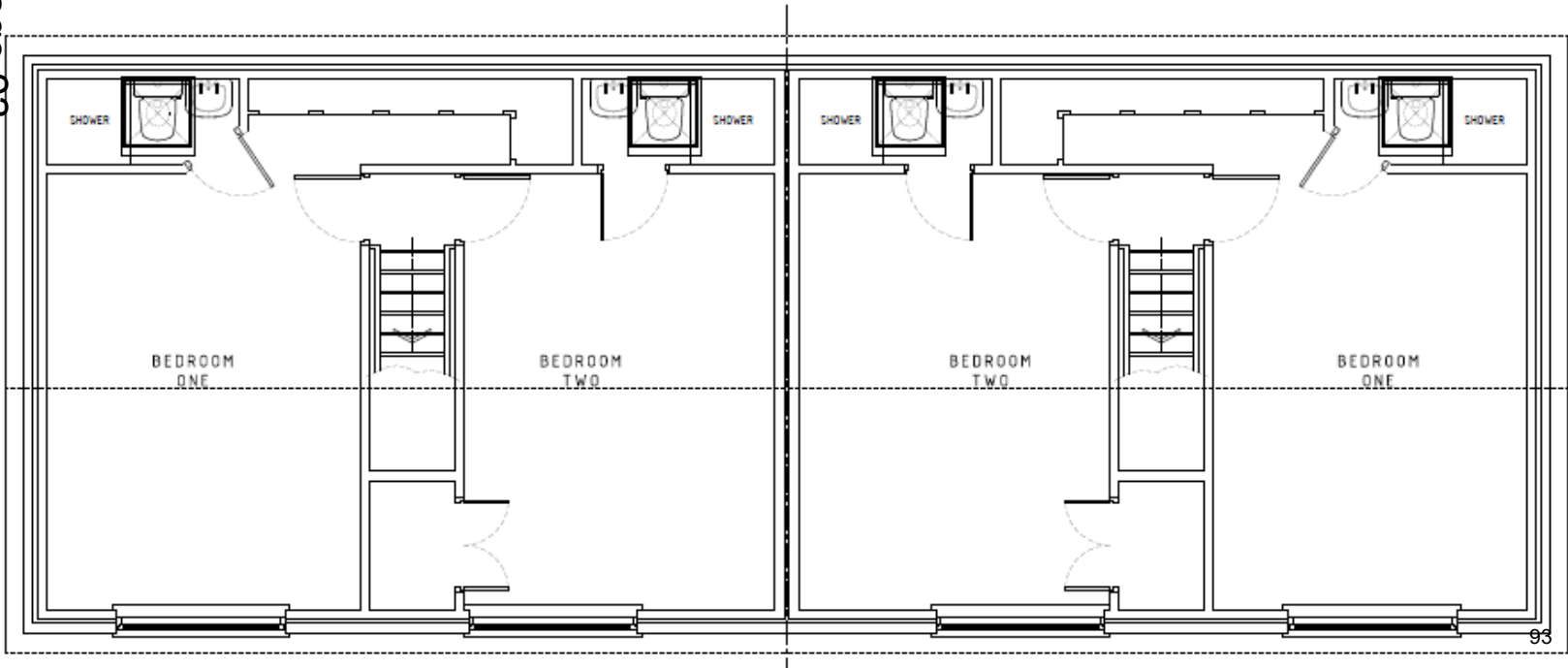


# Proposed First Floor Plan



PROPOSED ROOF PLAN 1:100

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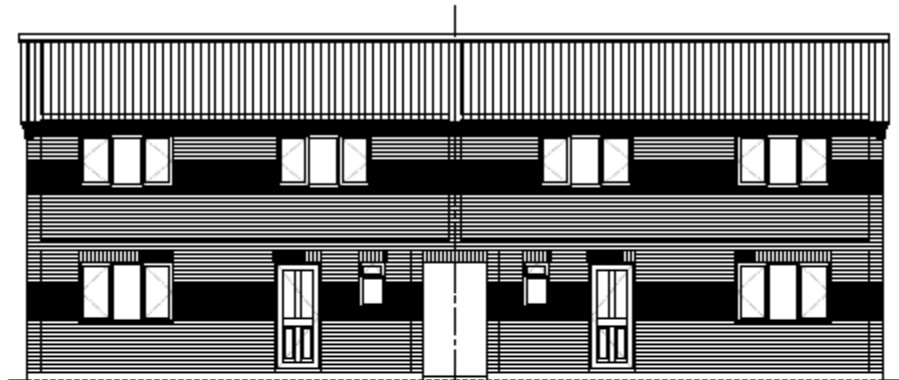


# Proposed Elevations

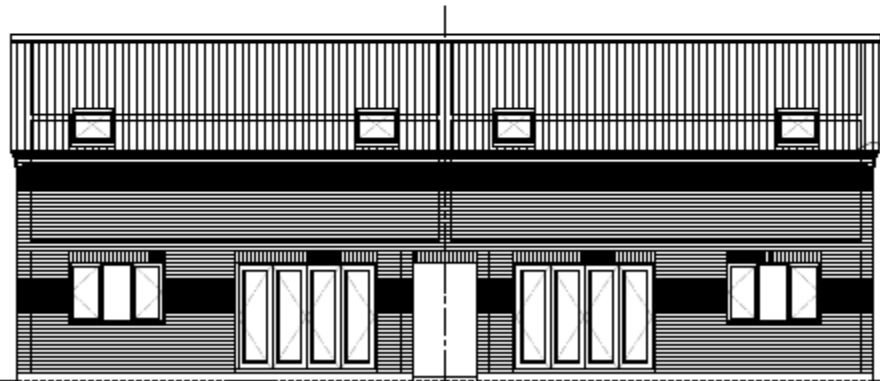
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EAST



SOUTH



NORTH

Brick corble



WEST

# Planning Balance

## Approval

Key material considerations

- Creation of two residential units



## Refusal

Key material considerations

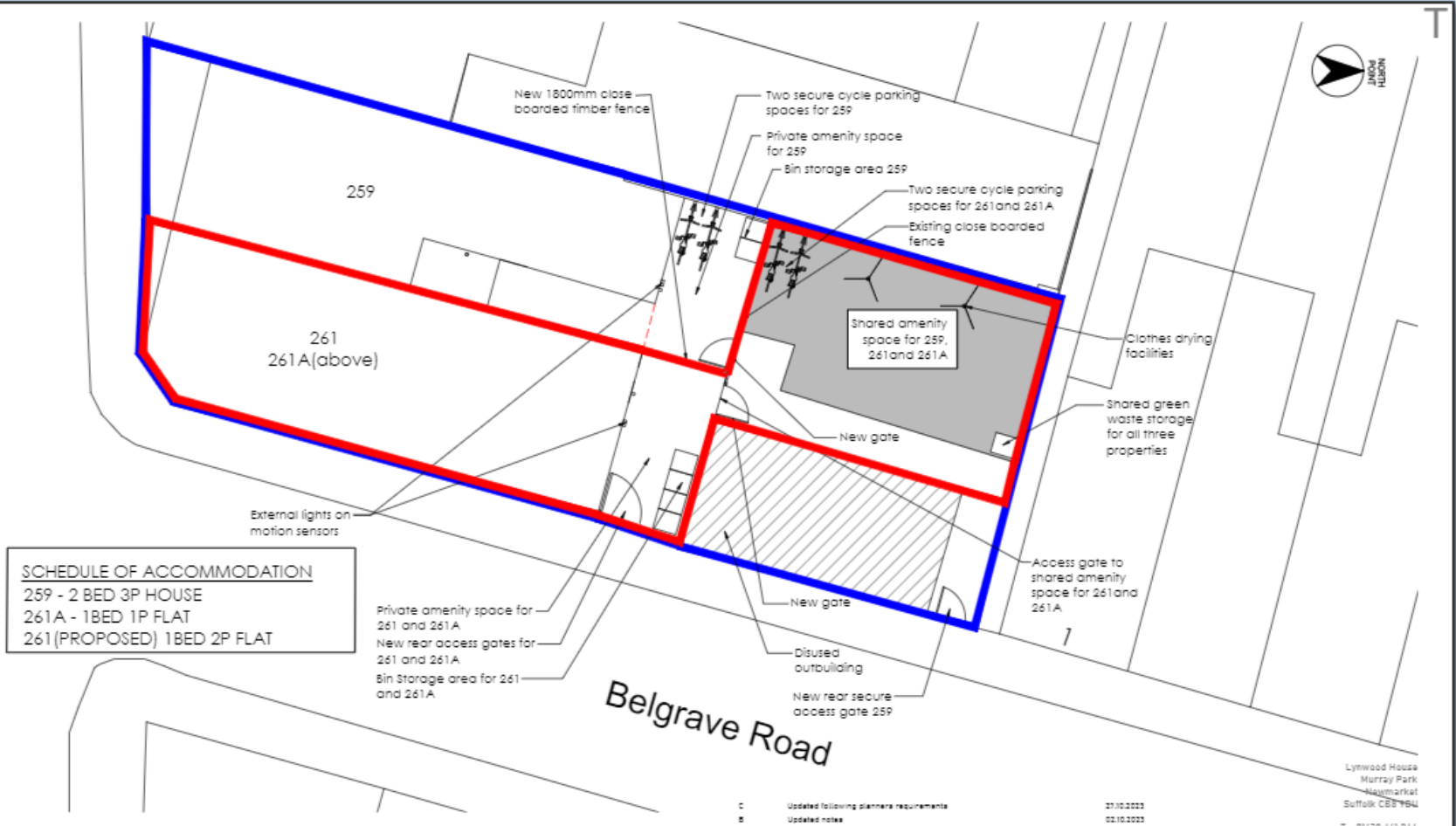
- Harm to character and appearance and amenity of the area
- Harms neighbouring amenities
- Poor external amenity space for future occupiers
- Inadequate provision for cycle parking
- Insufficient information to assess impact on trees in the area.

Officer Recommendation: Refuse

# 23/03741/FUL - 261 Mill Road

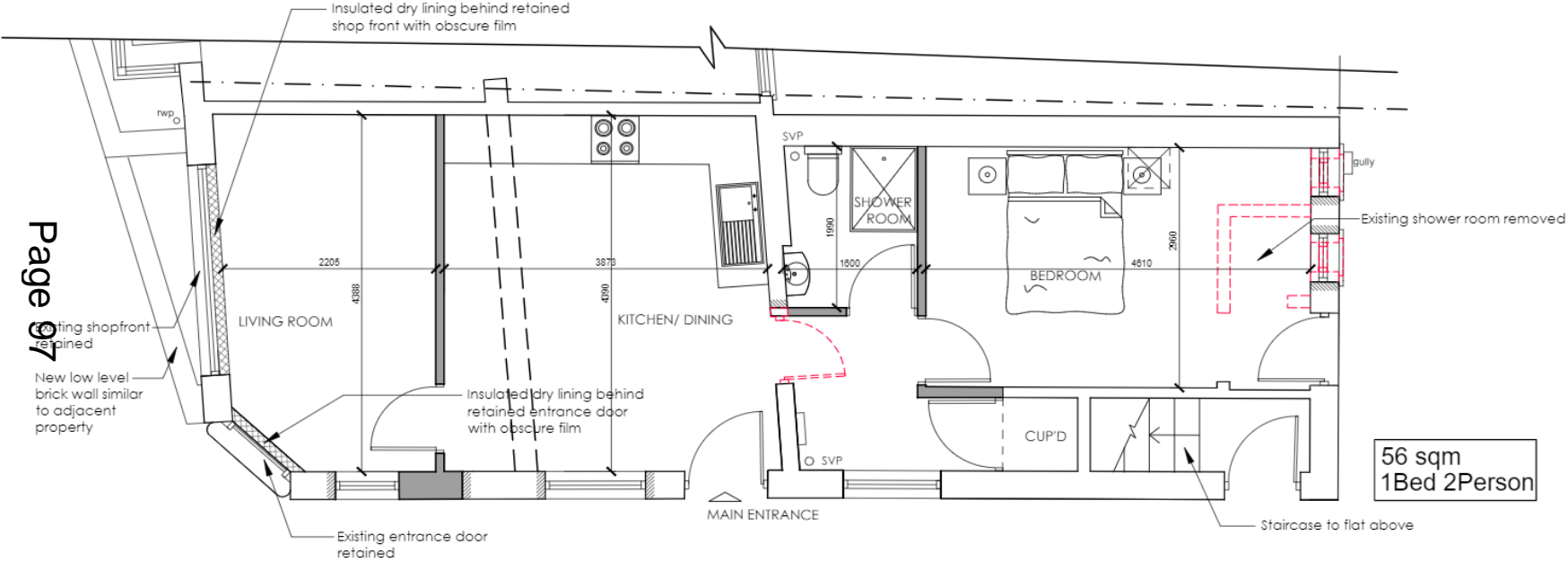
## Site Location Plan

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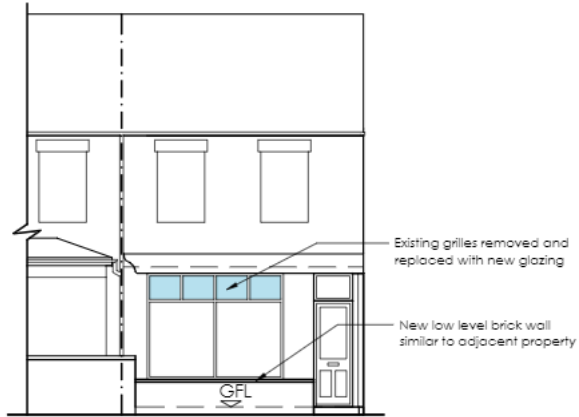
# Ground Floor Plan



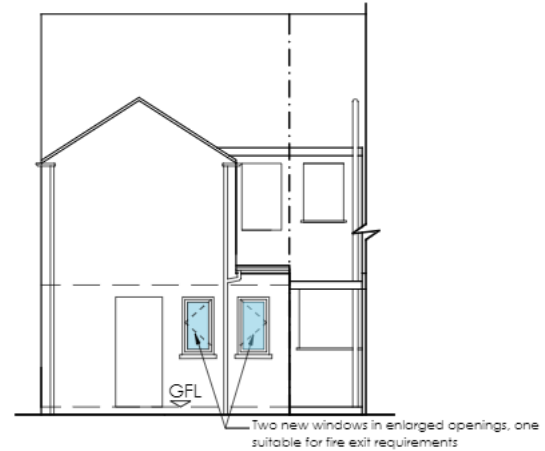
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PROPOSED GROUND FLOOR PLAN  
1:50

# Proposed Elevations



PROPOSED FRONT ELEVATION  
1:100



PROPOSED REAR ELEVATION  
1:100



PROPOSED SIDE ELEVATION  
1:100

# Planning Balance

## Approval

Key material considerations

- Creation of a residential unit
- Sufficient cycle, bin storage and amenity area provision
- Building back into use



## Refusal

Key material considerations

- Loss of retail unit in a District Centre

Officer Recommendation: Approve

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